

**ELEVATION LEGEND**

- G1 SILVER VISION GLAZING
- G15 SILVER SPANDREL GLAZING
- G22 GREY VISION GLAZING
- G23 GREY SPANDREL GLAZING
- G3 SILVER GREY VISION GLAZING
- G35 SILVER GREY SPANDREL GLAZING
- G4 CLEAR GLAZING
- G11 CONCRETE NATURAL GREY FINISH
- G12 COLOURED CONCRETE CREAM FINISH
- G13 COLOURED CONCRETE DARK CREAM FINISH
- G14 TEXTURED COLOURED CONCRETE DARK CREAM FINISH
- G5 COLOURED CONCRETE - FADED OCHRE FINISH
- G6 BRICK WARM OCHRE FINISH
- G7 ALUMINIUM SATIN FINISH WARM WHITE
- G8 ALUMINIUM SATIN FINISH WARM CHARCOAL
- G9 LINISHED STAINLESS STEEL
- G10 ALUMINIUM SATIN FINISH CHARCOAL BALUSTRADE
- G16 ALUMINIUM SATIN FINISH CHARCOAL LOUVRES
- G17 ALUMINIUM SATIN FINISH CHARCOAL Z-PURLIN VERTICAL SCREEN
- G18 PAINT FINISH CHARCOAL
- G19 FIBRE CEMENT CLADDING CHARCOAL
- G20 NATURAL STAINED TIMBER FINISH ALUMINIUM

REVISION	DATE	BY
-	TOWN PLANNING ISSUE	KT 20.10.2023
A	TOWN PLANNING SUBMISSION	KT 21.08.2024
B	TOWN PLANNING SUBMISSION	KT 30.01.2025
C	TOWN PLANNING RFI	GH 12.05.2025

**QUALITY ASSURANCE** (FK IS A CERTIFIED COMPANY TO ISO 9001-2015)

THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM

SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE DATE OF REVIEW: 31.08.2023  
 DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS COMPLETE DATE OF REVIEW: 12.05.2025  
 TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED  
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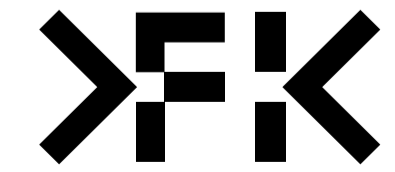
DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
GH	12.05.2025	KT	12.05.2025	22010	1:200@A1

**PROJECT**  
 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

**DRAWING TITLE**  
 EAST - ELEVATION

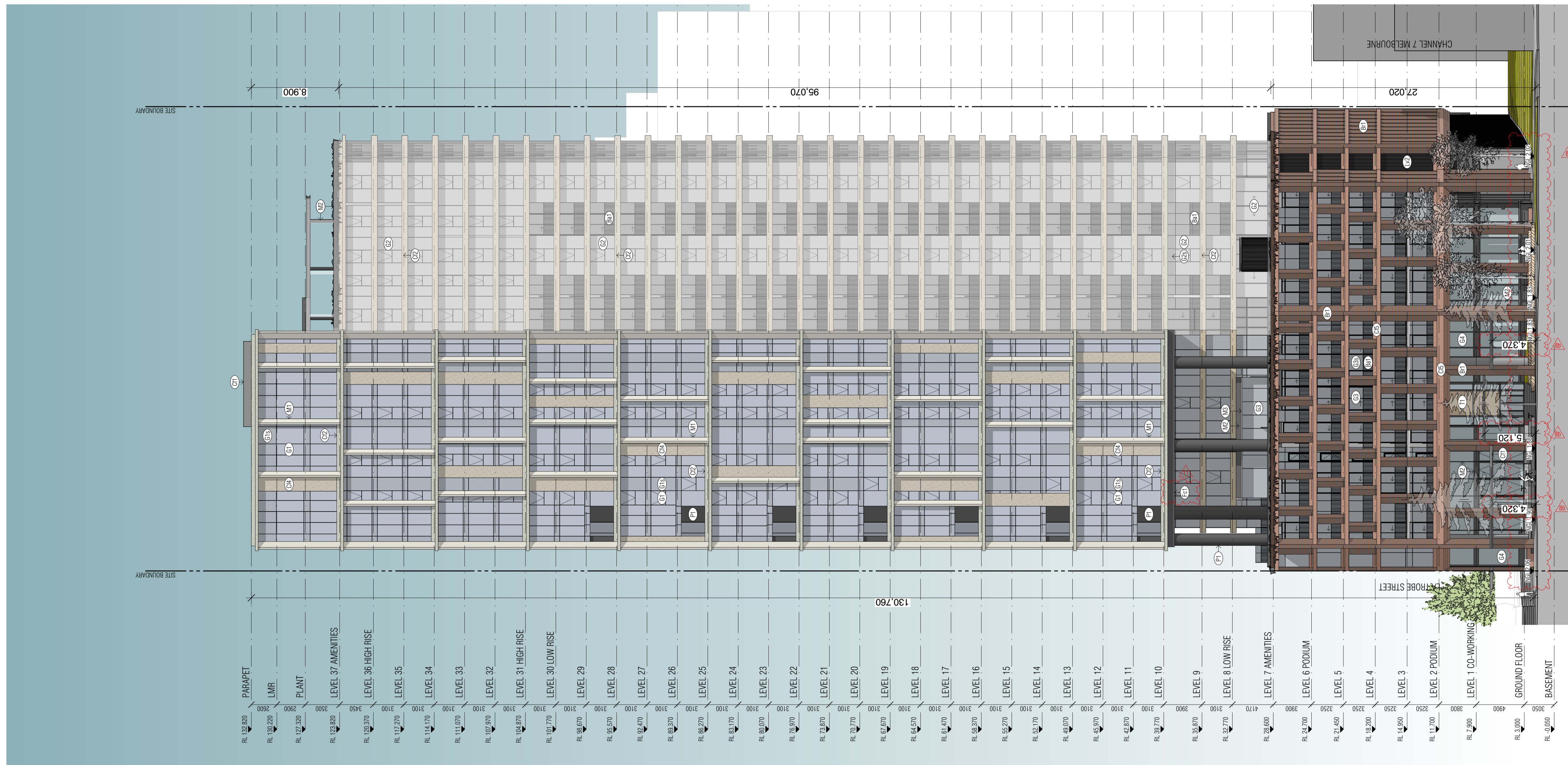
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 2 RIVERSIDE QUAY, SOUTH BANK  
 VICTORIA 3006 AUSTRALIA  
 TELEPHONE: +61 3 8596 3888  
 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

**ISSUE PURPOSE**  
 TOWN PLANNING RFI



**REV**  
 C

**DRAWING NO.**  
 TP203



**ELEVATION LEGEND**

- (G1) SILVER VISION GLAZING
- (G1S) SILVER SPANDREL GLAZING
- (G2) GREY VISION GLAZING
- (G2S) GREY SPANDREL GLAZING
- (G3) SILVER GREY VISION GLAZING
- (G3S) SILVER GREY SPANDREL GLAZING
- (G4) CLEAR GLAZING
- (C1) CONCRETE NATURAL GREY FINISH
- (C2) COLOURED CONCRETE CREAM FINISH
- (C3) COLOURED CONCRETE DARK CREAM FINISH
- (C4) TEXTURED COLOURED CONCRETE DARK CREAM FINISH
- (C5) COLOURED CONCRETE - FADED OCHRE FINISH
- (B1) BRICK WARM OCHRE FINISH
- (M1) ALUMINIUM SATIN FINISH WARM WHITE
- (M2) ALUMINIUM SATIN FINISH WARM CHARCOAL
- (M3) LINED STAINLESS STEEL
- (B1) ALUMINIUM SATIN FINISH CHARCOAL BALUSTRADE
- (L1) ALUMINIUM SATIN FINISH CHARCOAL LOUVRES
- (L2) ALUMINIUM SATIN FINISH CHARCOAL Z-PURLIN VERTICAL SCREEN
- (P1) PAINT FINISH CHARCOAL
- (F1) FIBRE CEMENT CLADDING CHARCOAL
- (T1) NATURAL STAINED TIMBER FINISH ALUMINIUM

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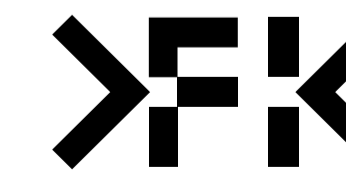
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**PROJECT**  
 699 LA TROBE ST  
 699 LA TROBE ST  
 DOCKLANDS VICTORIA 3008

**DRAWING TITLE**  
 WEST - ELEVATION

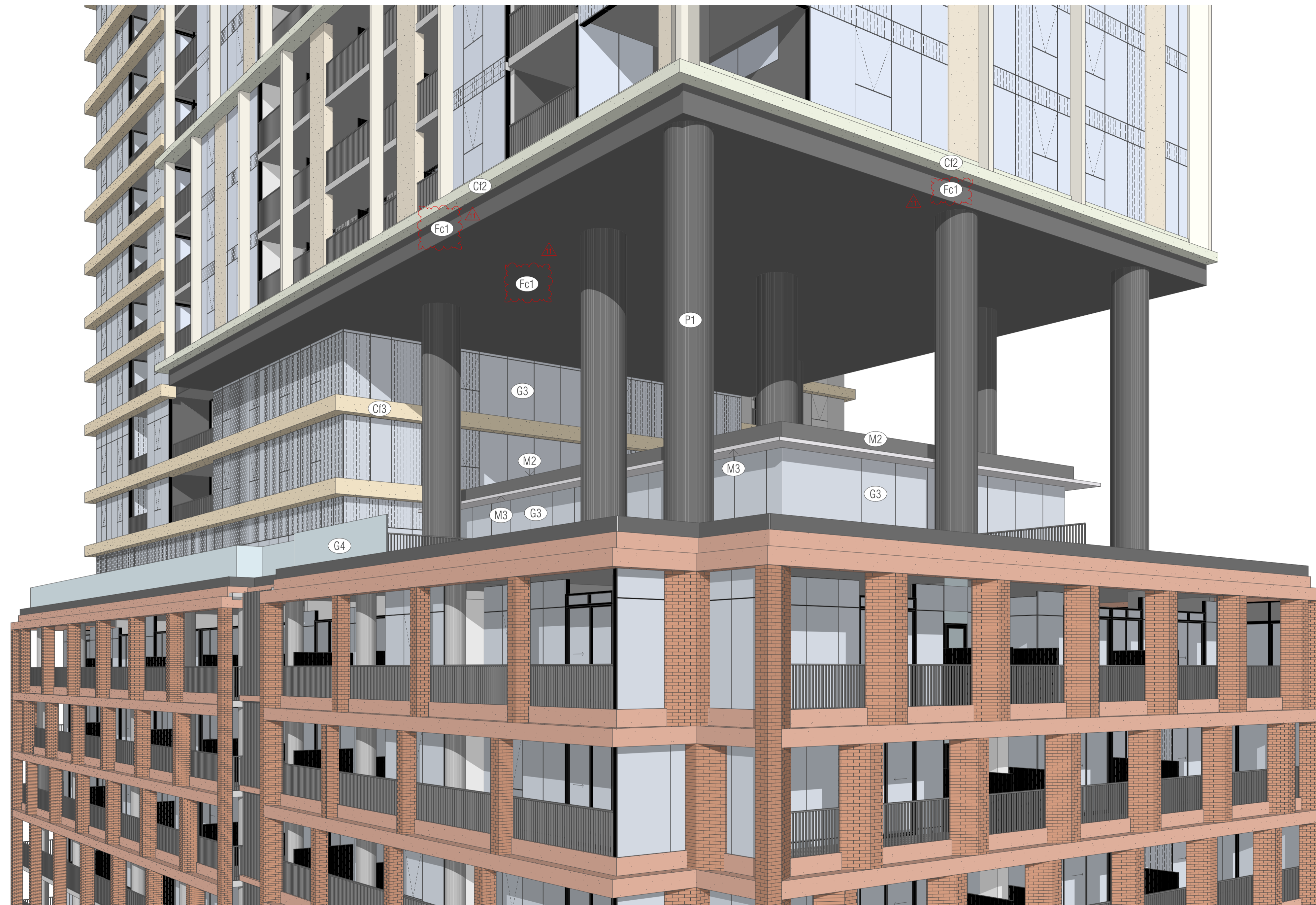
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 2 RIVERSIDE QUAY, SOUTH BANK  
 VICTORIA 3006 AUSTRALIA  
 TELEPHONE: +61 3 8696 3888  
 FENDER KATSALIDIS (AUSTRALIA) PTY LTD ACN 092 943 032

**ISSUE PURPOSE**  
 TOWN PLANNING RFI



**REV**  
 C

**DRAWING NO.**  
 TP204



**ELEVATION LEGEND**

- |                                    |  |  |  |   |
|------------------------------------|--|--|--|---|
| (G1) SILVER VISION GLAZING         | (G4) CLEAR GLAZING                                 | (C15) COLOURED CONCRETE - FADED OCHRE FINISH | (M1) ALUMINIUM SATIN FINISH WARM WHITE           | (L1) ALUMINIUM SATIN FINISH CHARCOAL LOUVRES                  |
| (G1S) SILVER SPANDREL GLAZING      | (C11) CONCRETE NATURAL GREY FINISH                 | (B1) BRICK WARM OCHRE FINISH                 | (M2) ALUMINIUM SATIN FINISH CHARCOAL             | (L2) ALUMINIUM SATIN FINISH CHARCOAL Z-PURLIN VERTICAL SCREEN |
| (G2) GREY VISION GLAZING           | (C12) COLOURED CONCRETE CREAM FINISH               | (M) ALUMINIUM SATIN FINISH WARM WHITE        | (M3) LINED STAINLESS STEEL                       | (F1) PAINT FINISH CHARCOAL                                    |
| (G2S) GREY SPANDREL GLAZING        | (C13) COLOURED CONCRETE DARK CREAM FINISH          | (M2) ALUMINIUM SATIN FINISH CHARCOAL         | (Ba1) ALUMINIUM SATIN FINISH CHARCOAL BALUSTRADE | (F1) FIBRE CEMENT CLADDING CHARCOAL                           |
| (G3) SILVER GREY VISION GLAZING    | (C14) TEXTURED COLOURED CONCRETE DARK CREAM FINISH | (M3) LINED STAINLESS STEEL                   |  | (T1) NATURAL STAINED TIMBER FINISH ALUMINIUM                  |
| (G3S) SILVER GREY SPANDREL GLAZING |  |  |  |   |

REVISION	DATE
- TOWN PLANNING SUBMISSION	GH 02.04.2025
> A TOWN PLANNING RFI	GH 12.05.2025

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**PROJECT**  
 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

**DRAWING TITLE**  
 3D LEVEL 7 UNDERCROFT PERSPECTIVE

WWW.FKAUSTRALIA.COM  
 2 RIVERSIDE QUAY, SOUTHBANK  
 VICTORIA 3006 AUSTRALIA  
 TELEPHONE: +61 3 8696 3688  
 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

**REV**  
A

**DRAWING NO.**  
TP205

**ISSUE PURPOSE**  
TOWN PLANNING RFI



NORTH ELEVATION  
SCALE 1:100@A1

ELEVATION LEGEND

- (G1) SILVER VISION GLAZING
- (G15) SILVER SPANDREL GLAZING
- (G2) GREY VISION GLAZING
- (G25) GREY SPANDREL GLAZING
- (G3) SILVER GREY VISION GLAZING
- (G35) SILVER GREY SPANDREL GLAZING
- (G4) CLEAR GLAZING
- (G11) CONCRETE NATURAL GREY FINISH
- (G12) COLOURED CONCRETE CREAM FINISH
- (G13) COLOURED CONCRETE DARK CREAM FINISH
- (G14) TEXTURED COLOURED CONCRETE DARK CREAM FINISH
- (G16) COLOURED CONCRETE - FADED OCHRE FINISH
- (G17) BRICK WARM OCHRE FINISH
- (G18) ALUMINIUM SATIN FINISH WARM WHITE
- (G19) ALUMINIUM SATIN FINISH CHARCOAL
- (G20) LINED STAINLESS STEEL
- (G21) ALUMINIUM SATIN FINISH CHARCOAL BALUSTRADE
- (G22) ALUMINIUM SATIN FINISH CHARCOAL Z-PURLIN VERTICAL SCREEN
- (G23) PAINT FINISH CHARCOAL
- (G24) FIBRE CEMENT CLADDING CHARCOAL
- (G26) NATURAL STAINED TIMBER FINISH ALUMINIUM
- (G27) ALUMINIUM SATIN FINISH CHARCOAL LOUVRES

REVISION	DATE	BY
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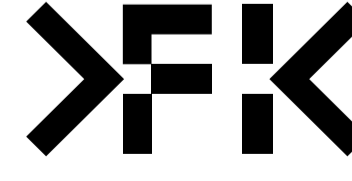
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PROJECT  
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 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

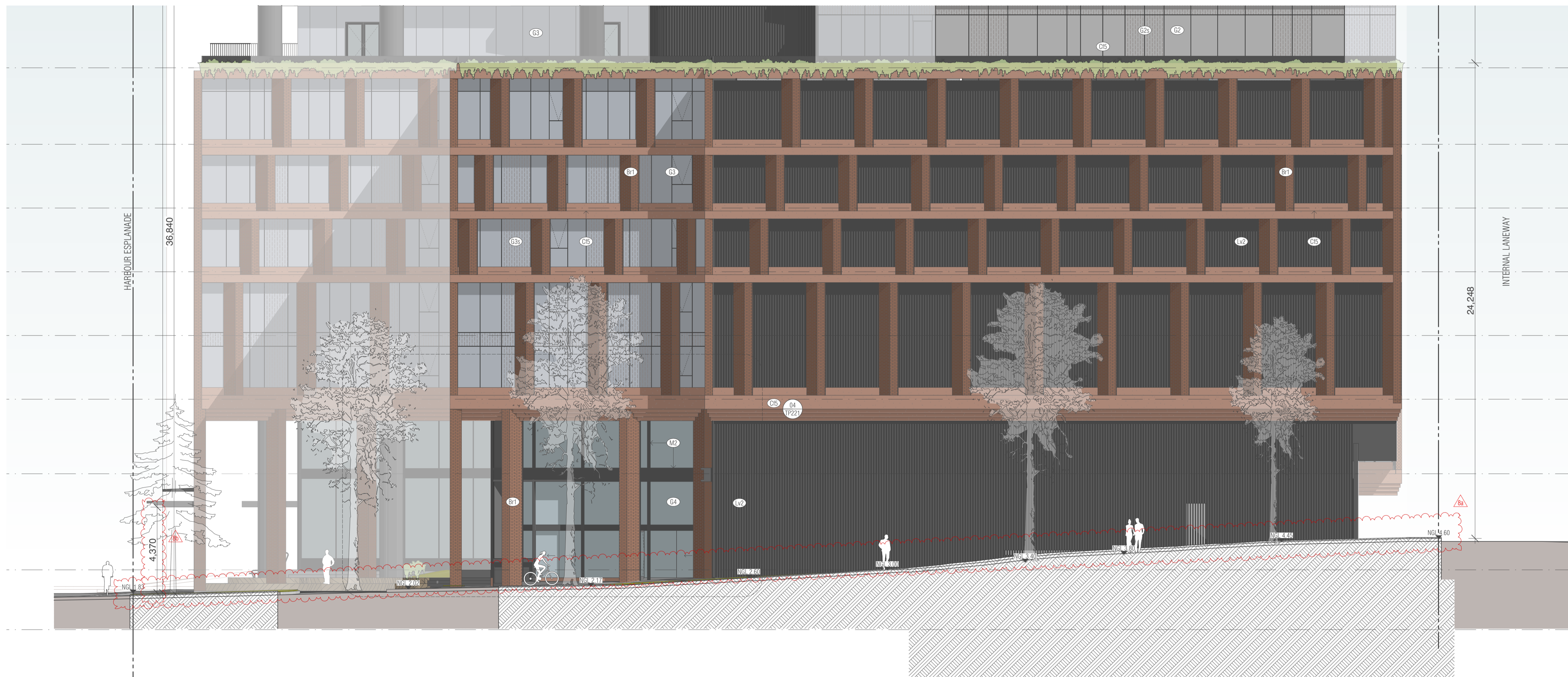
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 2 RIVERSIDE QUAY, SOUTHBANK  
 VICTORIA 3008 AUSTRALIA  
 TELEPHONE: +61 3 8696 3888  
 FENDER KATSALDIS (AUST) PTY LTD ACN 092 943 032



DRAWING TITLE  
 NORTH PODIUM ELEVATION

ISSUE PURPOSE  
 TOWN PLANNING RFI

REV. C DRAWING NO. TP210



S SOUTH ELEVATION  
SCALE 1:100@A1

ELEVATION LEGEND

- |                                    |   |   |  |
|------------------------------------|---|---|--|
| (G1) SILVER VISION GLAZING         | (G4) CLEAR GLAZING                                | (C5) COLOURED CONCRETE - FADED OCHRE FINISH | (LV1) ALUMINIUM SATIN FINISH CHARCOAL LOUVRES                  |
| (G1S) SILVER SPANDREL GLAZING      | (C1) CONCRETE NATURAL GREY FINISH                 | (B1) BRICK WARM OCHRE FINISH                | (LV2) ALUMINIUM SATIN FINISH CHARCOAL Z-PURLIN VERTICAL SCREEN |
| (G2) GREY VISION GLAZING           | (C2) COLOURED CONCRETE CREAM FINISH               | (M1) ALUMINIUM SATIN FINISH WARM WHITE      | (F1) PAINT FINISH CHARCOAL                                     |
| (G2S) GREY SPANDREL GLAZING        | (C3) COLOURED CONCRETE DARK CREAM FINISH          | (M2) ALUMINIUM SATIN FINISH CHARCOAL        | (F2) FIBRE CEMENT CLADDING CHARCOAL                            |
| (G3) SILVER GREY VISION GLAZING    | (C4) TEXTURED COLOURED CONCRETE DARK CREAM FINISH | (M3) FINISHED STAINLESS STEEL               | (T1) NATURAL STAINED TIMBER FINISH ALUMINIUM BALUSTRADE        |
| (G3S) SILVER GREY SPANDREL GLAZING |   |   |  |

REVISION

REVISION	DATE	BY
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C	12.05.2025	GH

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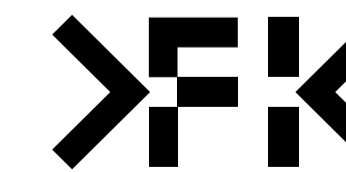
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GH	12.05.2025	KT	12.05.2025	22010	1:100@A1

PROJECT  
699 LA TROBE ST  
699 LATROBE ST  
DOCKLANDS VICTORIA 3008

WWW.FKAUSTRALIA.COM  
2 RIVERSIDE QUAY, SOUTHBANK  
VICTORIA 3006 AUSTRALIA  
TELEPHONE: +61 3 8696 3888  
FENDER KATSALIDIS (AUSTRALIA) PTY LTD ACN 092 943 032



ISSUE PURPOSE  
TOWN PLANNING RFI

REV. C DRAWING NO. TP211





W WEST ELEVATION  
SCALE 1:100@A1

ELEVATION LEGEND

- |                                    |   |  |
|------------------------------------|---|--|
| (G1) CLEAR GLAZING                 | (G4) COLOURED CONCRETE - FADED OCHRE FINISH     | (LV1) ALUMINIUM SATIN FINISH CHARCOAL LOUVRES                  |
| (G1S) SILVER SPANDREL GLAZING      | (G5) BRICK WARM OCHRE FINISH                    | (LV2) ALUMINIUM SATIN FINISH CHARCOAL Z-PURLIN VERTICAL SCREEN |
| (G2) GREY VISION GLAZING           | (M1) ALUMINIUM SATIN FINISH WARM WHITE          | (P1) PAINT FINISH CHARCOAL                                     |
| (G2S) GREY SPANDREL GLAZING        | (M2) ALUMINIUM SATIN FINISH CHARCOAL            | (F1) FIBRE CEMENT CLADDING CHARCOAL                            |
| (G3) SILVER GREY VISION GLAZING    | (M3) FINISHED STAINLESS STEEL                   | (T1) NATURAL STAINED TIMBER FINISH ALUMINIUM BALUSTRADE        |
| (G3S) SILVER GREY SPANDREL GLAZING | (B1) ALUMINIUM SATIN FINISH CHARCOAL BALUSTRADE |  |

REVISION	DATE	BY
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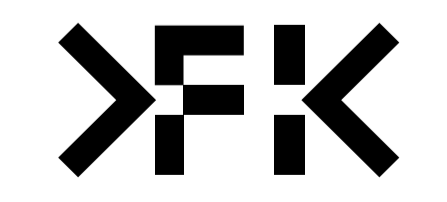
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699 LA TROBE ST  
699 LA TROBE ST  
DOCKLANDS VICTORIA 3008

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2 RIVERSIDE QUAY, SOUTHBANK  
VICTORIA 3008 AUSTRALIA  
TELEPHONE: +61 3 8696 3888  
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

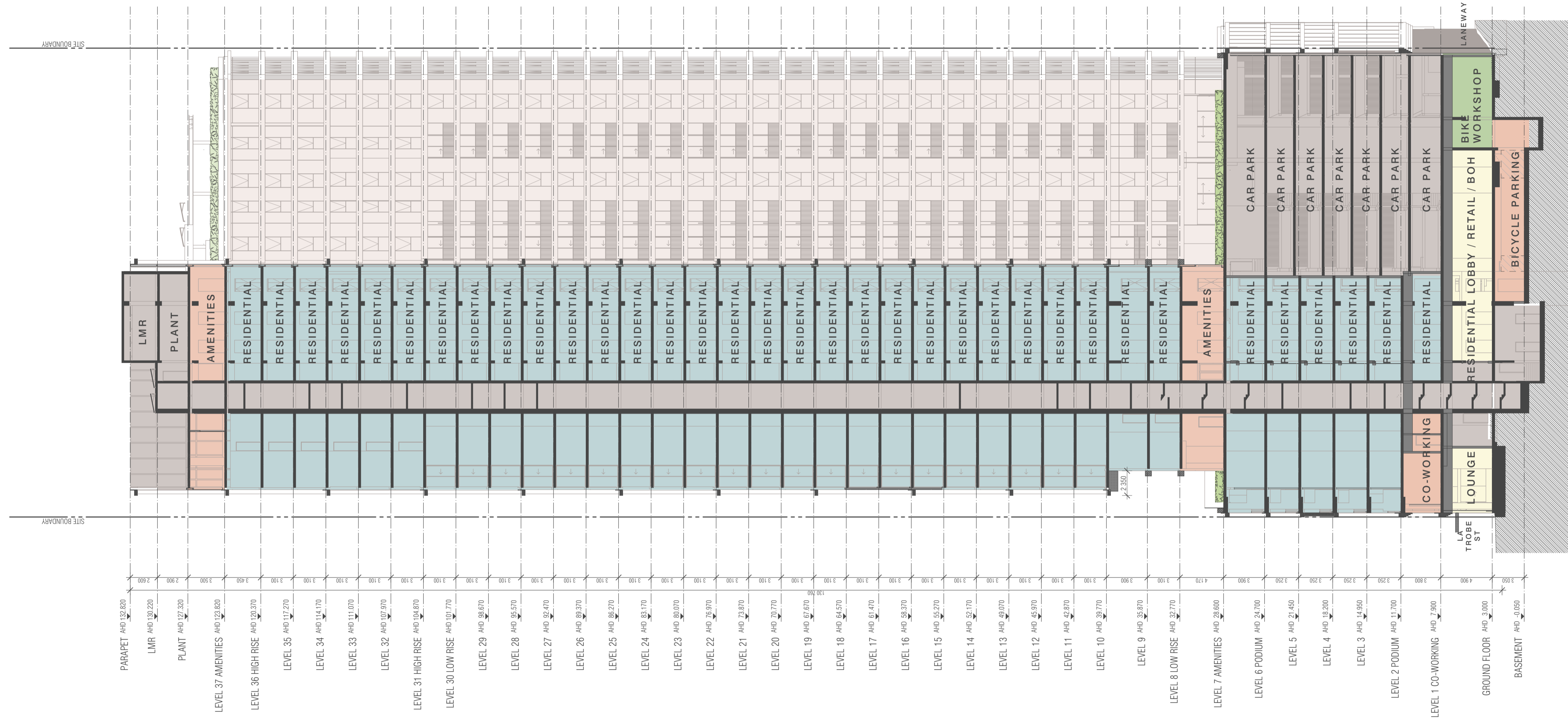


**DRAWING TITLE**  
WEST PODIUM ELEVATION

**ISSUE PURPOSE**  
TOWN PLANNING RFI

**REV**  
C

**DRAWING NO.**  
TP213



BIMcloud: kaaprbim01 - BIMcloud22010 699 La Trobe Street 81900 BIM MODELS/SD TP-DA/CENTRAL MODELS/22010 General

REVISION	DATE	BY
-	20.10.2023	KT
A	21.08.2024	KT
B	30.01.2025	KT

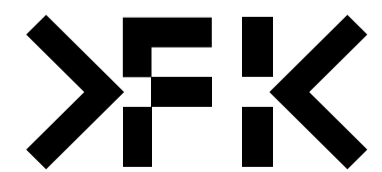
QUALITY ASSURANCE	DATE OF REVIEW
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 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

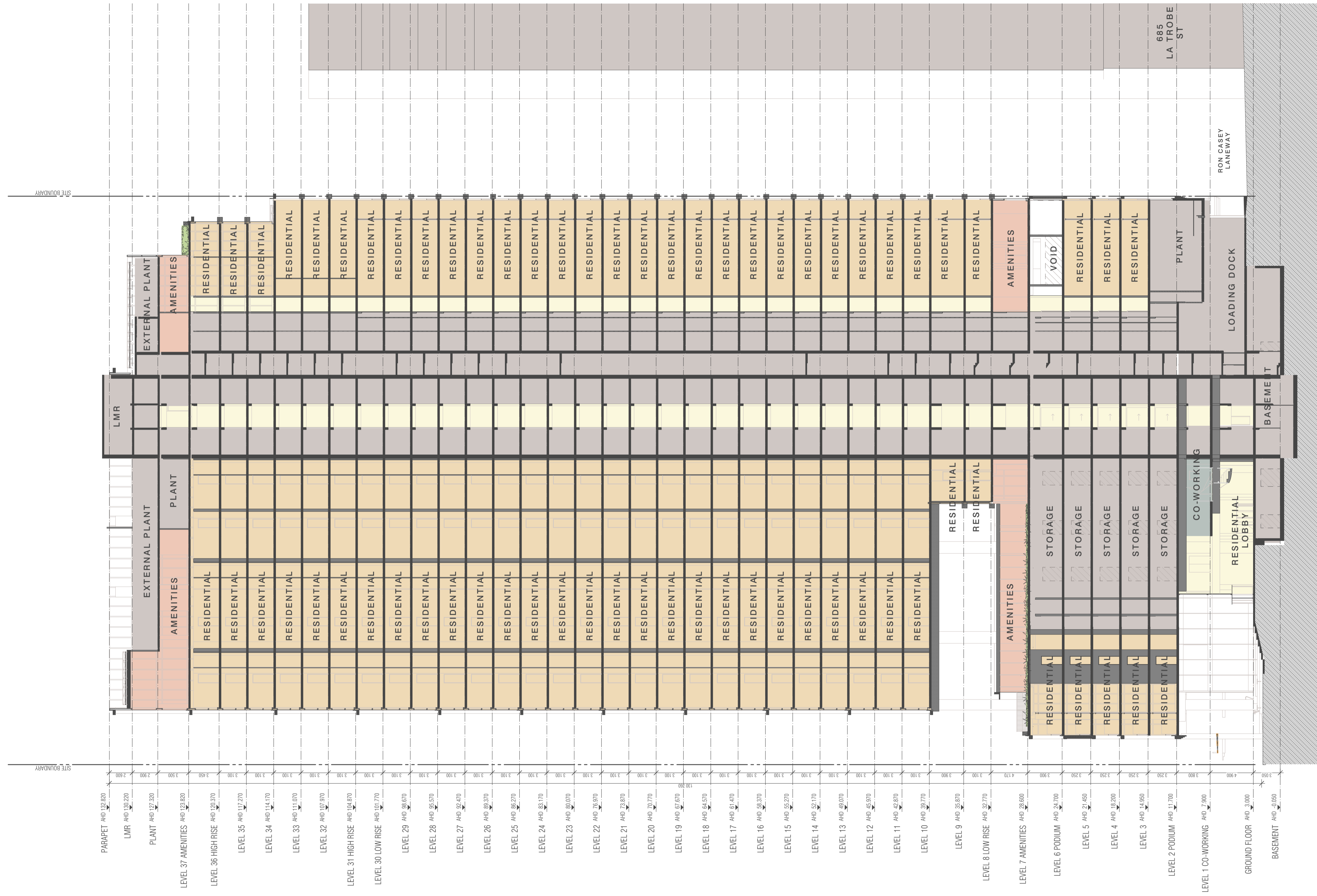
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 VICTORIA 3006 AUSTRALIA  
 TELEPHONE: +61 3 8696 3888  
 FENDER KATSALDIS (AUST) PTY LTD ACN 092 943 032



**ISSUE PURPOSE**  
 TOWN PLANNING

**REV**  
 B

**DRAWING NO.**  
 TP250



B:\McCloud\_Kapprbm01 - B:\McCloud\22010 699 La Trobe Street BTR\00 BIM MODELS\SD TP-DA\CENTRAL MODELS\22010 General

REVISION	DATE	BY
- TOWN PLANNING ISSUE	20.10.2023	KT
A TOWN PLANNING SUBMISSION	21.08.2024	KT
B TOWN PLANNING SUBMISSION	30.01.2025	KT

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
GH	30.01.2025	KT	12.05.2025	22010	1:200@A1

**PROJECT**  
 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

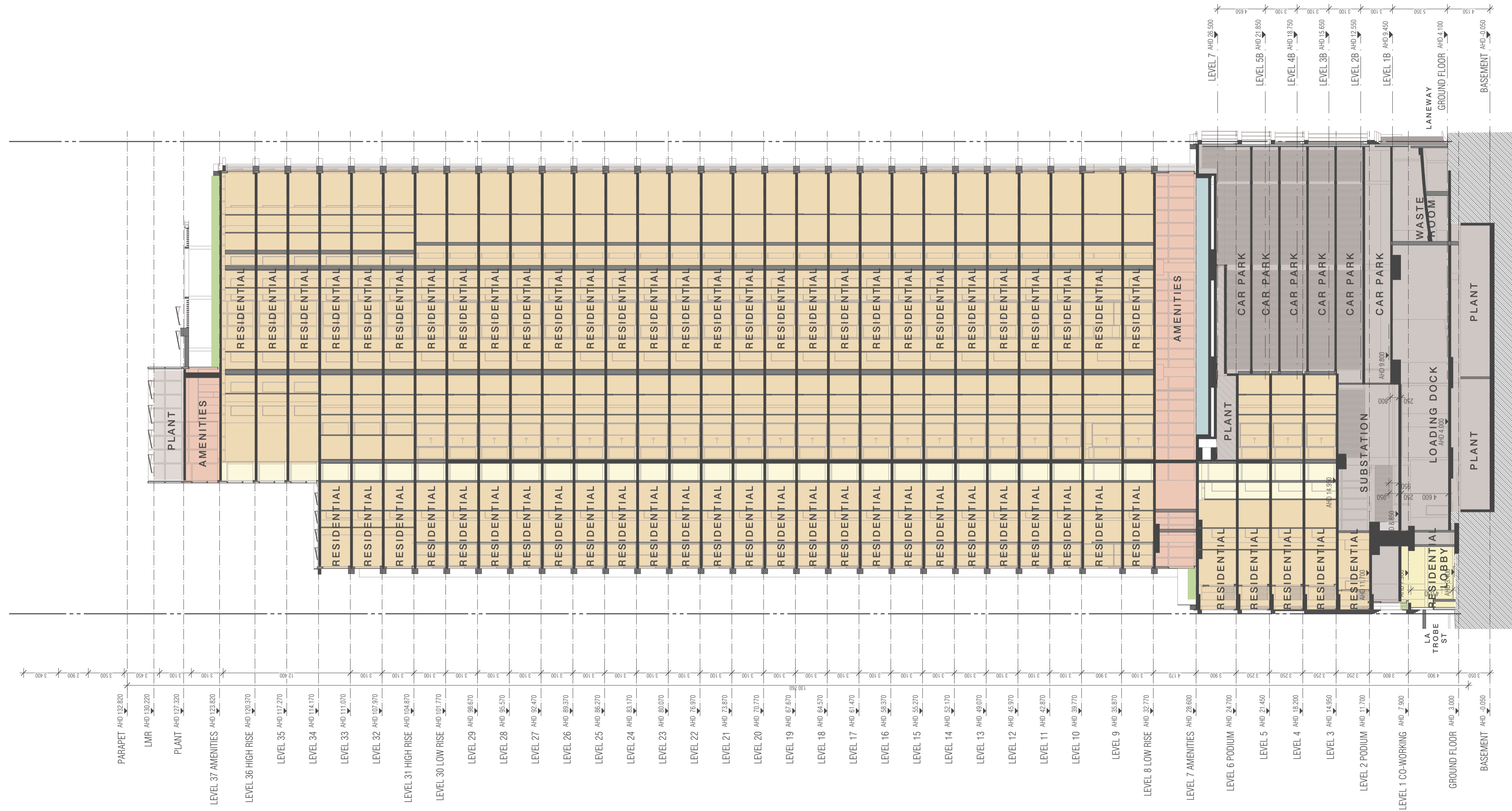
**DRAWING TITLE**  
 SECTION BB

WWW.FKAUSTRALIA.COM  
 2 RIVERSIDE QUAY, SOUTH BANK  
 VICTORIA 3006 AUSTRALIA  
 TELEPHONE: +61 3 8696 3888  
 FENDER KATSALDIS (AUST) PTY LTD ACN 092 943 032

**ISSUE PURPOSE**  
 TOWN PLANNING

**REV**  
B

**DRAWING NO.**  
TP251



BIMcloud: kaaprbim01 - BIMcloud22010 699 La Trobe Street 81900 BIM MODELS:SD\_TP-DA-CENTRAL\_MODELS\22010 General

REVISION		DATE
-	TOWN PLANNING ISSUE	20.10.2023
A	TOWN PLANNING SUBMISSION	21.08.2024
B	TOWN PLANNING SUBMISSION	30.01.2025

**QUALITY ASSURANCE** (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)

THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM

- SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE
- DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS COMPLETE
- TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED
- CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED

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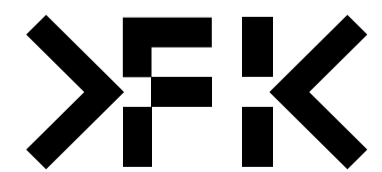
DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
GH	30.01.2025	KT	12.05.2025	22010	1:200@A1

**PROJECT**  
699 LA TROBE ST  
699 LATROBE ST  
DOCKLANDS VICTORIA 3008

**DRAWING TITLE**  
SECTION CC

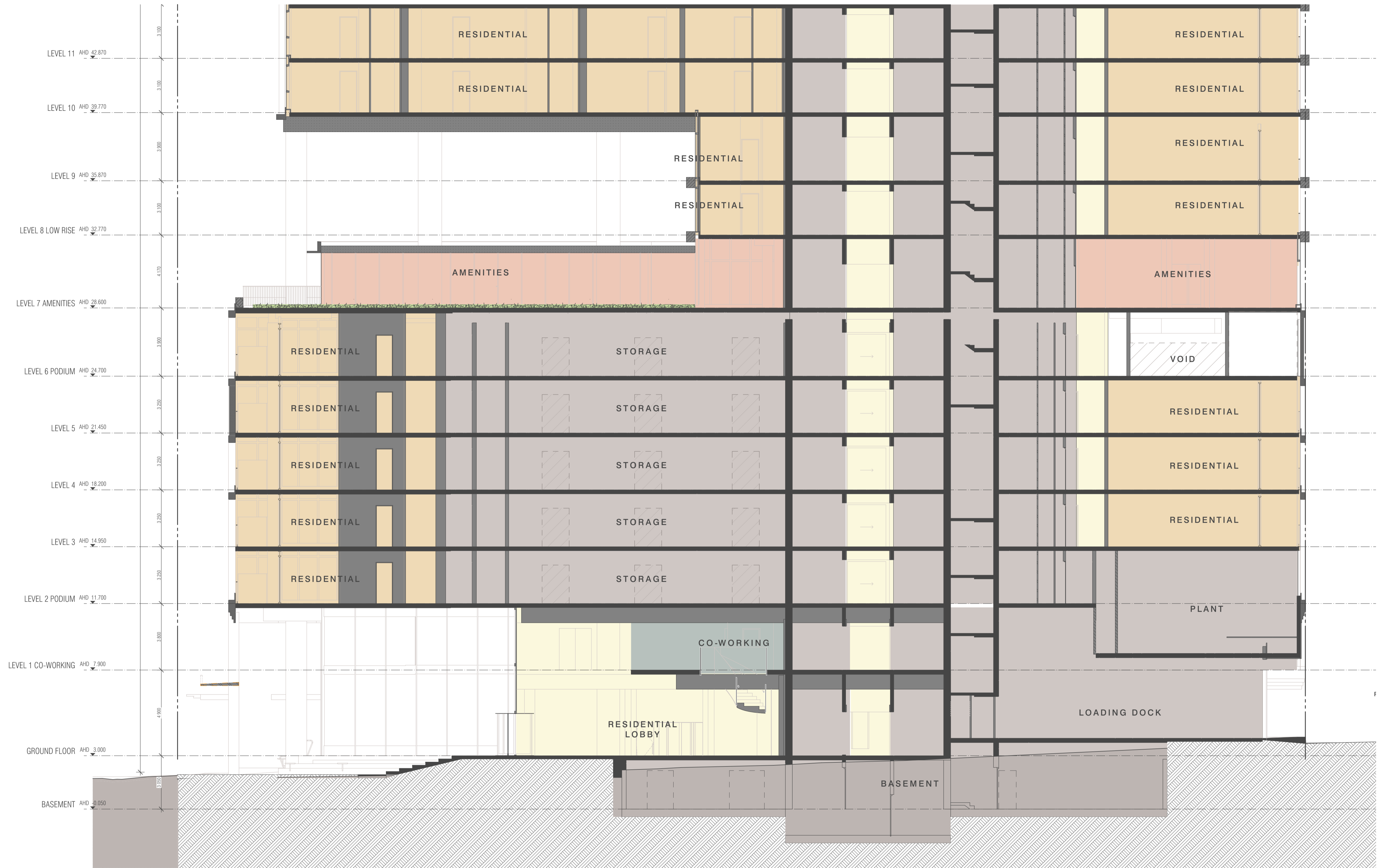
WWW.FKAUSTRALIA.COM  
2 RIVERSIDE QUAY, SOUTH BANK  
VICTORIA 3006 AUSTRALIA  
TELEPHONE: +61 3 8696 3888  
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

**ISSUE PURPOSE**  
TOWN PLANNING



**REV**  
B

**DRAWING NO.**  
TP252



BIMcloud: kaaprbim01 - BIMcloud22010 699 La Trobe Street BTR000 BIM MODELS/SD - TP-DA-CENTRAL MODELS/22010 General

REVISION		KT	20.10.2023	REVISION
-	TOWN PLANNING ISSUE	KT	20.10.2023	
A	TOWN PLANNING SUBMISSION	KT	21.08.2024	
B	TOWN PLANNING SUBMISSION	KT	30.01.2025	

**QUALITY ASSURANCE** (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)  
 THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM

- SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE DATE OF REVIEW: 31.08.2023
- DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS COMPLETE DATE OF REVIEW: 12.05.2025
- TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
- CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.

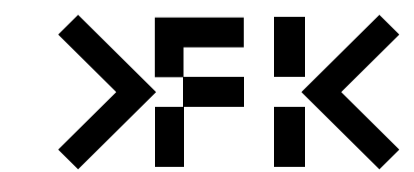
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
GH	30.01.2025	KT	12.05.2025	22010	1:100@A1

**PROJECT**  
 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

WWW.FKAUSTRALIA.COM  
 2 RIVERSIDE QUAY, SOUTHBANK  
 VICTORIA 3006 AUSTRALIA  
 TELEPHONE: +61 3 8596 3888  
 FENDER KATSALIDIS (AUSTRALIA) PTY LTD ACN 092 943 032



**DRAWING TITLE**  
 SECTION BB BLOWUP

**ISSUE PURPOSE**  
 TOWN PLANNING

**REV**  
 B

**DRAWING NO.**  
 TP261



BIMcloud: kaaprbim01 - BIMcloud\22010 699 La Trobe Street BTR\00 BIM MODELS\SD TP-DA\CENTRAL MODELS\22010 General

REVISION	DATE	REVISION
-	20.10.2023	
A	21.08.2024	
B	30.01.2025	
C	12.05.2025	

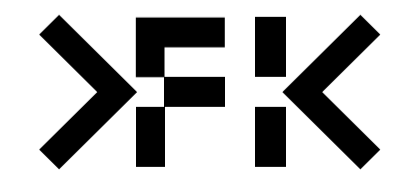
**QUALITY ASSURANCE** (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)  
 THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM  
 ■ SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE DATE OF REVIEW: 31.08.2023  
 ■ DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS COMPLETE DATE OF REVIEW: 12.05.2025  
 □ TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.  
 □ CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.  
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
GH	12.05.2025	KT	12.05.2025	22010	1:100@A1

**PROJECT**  
 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

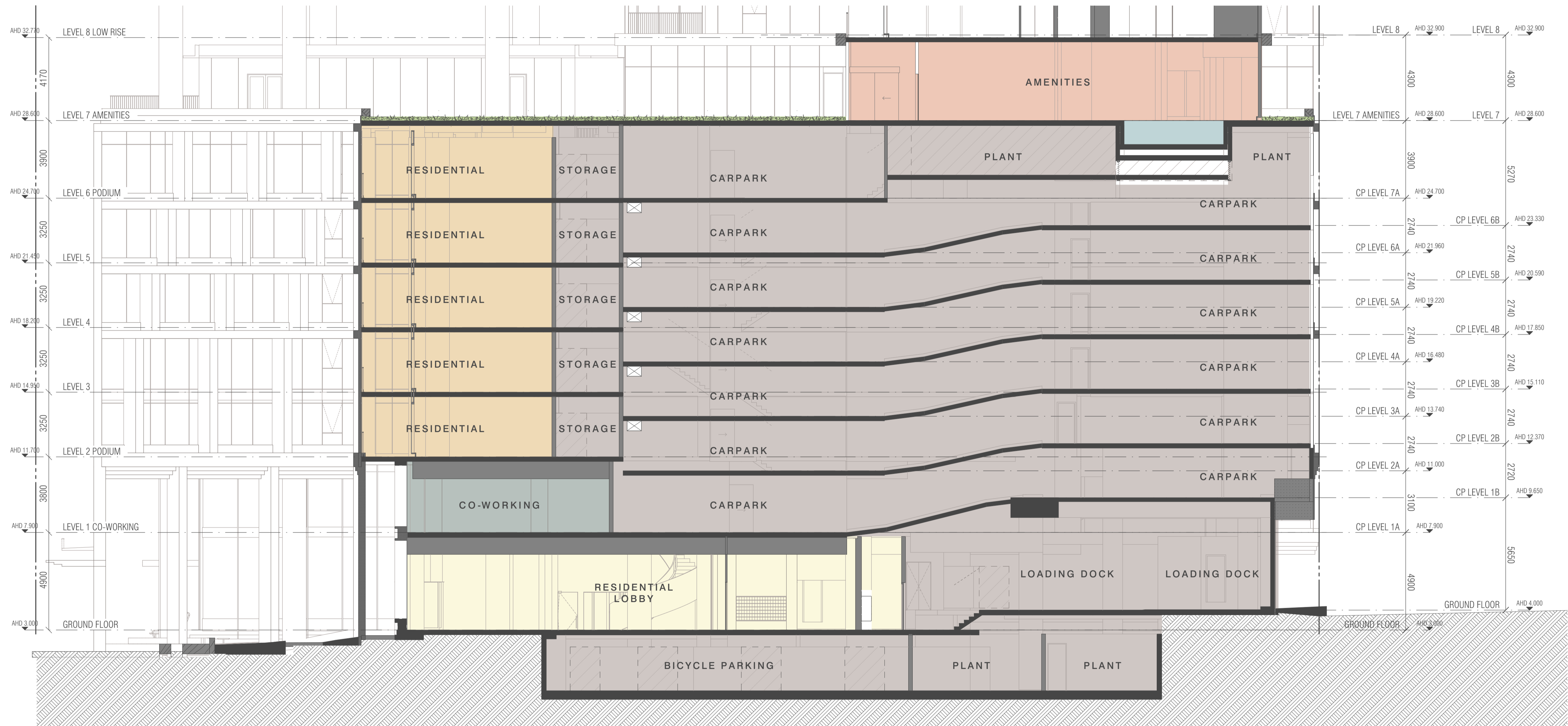
WWW.FKAUSTRALIA.COM  
 2 RIVERSIDE QUAY, SOUTHBANK  
 VICTORIA 3006 AUSTRALIA  
 TELEPHONE: +61 3 8596 3888  
 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



**DRAWING TITLE**  
 SECTION CC BLOWUP

**ISSUE PURPOSE**  
 TOWN PLANNING RFI

**REV**  
 C  
**DRAWING NO.**  
 TP262



BIMcloud: kaaprbim01 - BIMcloud22010 699 La Trobe Street BTR000 BIM MODELS:SD TP-DA-CENTRAL MODELS22010 General

REVISION	DATE	BY	REVISION
-	20.10.2023	KT	TOWN PLANNING ISSUE
A	21.08.2024	KT	TOWN PLANNING SUBMISSION
B	30.01.2025	KT	TOWN PLANNING SUBMISSION

**QUALITY ASSURANCE** (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)  
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- SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE DATE OF REVIEW: 31.08.2023
- DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS COMPLETE DATE OF REVIEW: 12.05.2025
- TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED
- CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED

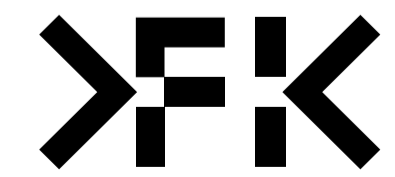
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
GH	30.01.2025	KT	12.05.2025	22010	1:100@A1

**PROJECT**  
 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

WWW.FKAUSTRALIA.COM  
 2 RIVERSIDE QUAY, SOUTH BANK  
 VICTORIA 3006 AUSTRALIA  
 TELEPHONE: +61 3 8596 3888  
 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



**DRAWING TITLE**  
 SECTION DD BLOWUP

**ISSUE PURPOSE**  
 TOWN PLANNING

**REV**  
 B

**DRAWING NO.**  
 TP263



BIMcloud: kaaprbim01 - BIMcloud/22010 699 La Trobe Street 619/00 BIM MODELS/SD\_TP-DA/CENTRAL\_MODELS/22010 General

REVISION		DATE	REVISION
-	TOWN PLANNING ISSUE	20.10.2023	
A	TOWN PLANNING SUBMISSION	21.08.2024	
B	TOWN PLANNING SUBMISSION	30.01.2025	

**QUALITY ASSURANCE** (FK IS A CERTIFIED COMPANY TO ISO 9001-2015)  
 THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM

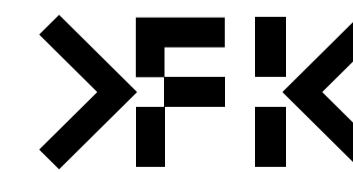
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**PROJECT**  
 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

WWW.FKAUSTRALIA.COM  
 2 RIVERSIDE QUAY, SOUTHBANK  
 VICTORIA 3006 AUSTRALIA  
 TELEPHONE: +61 3 8596 3888  
 FENDER KATSALIDIS (AUSTRALIA) PTY LTD ACN 092 943 032



DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
GH	30.01.2025	KT	12.05.2025	22010	N.T.S.@A1

**DRAWING TITLE**  
 VIEW FROM VICTORIA HARBOUR

**ISSUE PURPOSE**  
 TOWN PLANNING

**REV**  
 B

**DRAWING NO.**  
**TP300**



BIMcloud: kaaprbim01 - BIMcloud/22010 699 La Trobe Street 619/00 BIM MODELS/SD - TP-DIA-CENTRAL\_MODELS/22010 General

REVISION		DATE	REVISION
-	TOWN PLANNING ISSUE	KT 20.10.2023	
A	TOWN PLANNING SUBMISSION	KT 21.08.2024	
B	TOWN PLANNING SUBMISSION	KT 30.01.2025	

**QUALITY ASSURANCE** (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)  
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- DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS COMPLETE DATE OF REVIEW: 12.05.2025
- TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED
- CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED

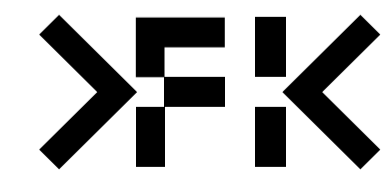
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
GH	30.01.2025	KT	12.05.2025	22010	N.T.S.@A1

**PROJECT**  
 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

WWW.FKAUSTRALIA.COM  
 2 RIVERSIDE QUAY, SOUTHBANK  
 VICTORIA 3006 AUSTRALIA  
 TELEPHONE: +61 3 8596 3888  
 FENDER KATSALIDIS (AUSTR) PTY LTD ACN 092 943 032



**DRAWING TITLE**  
 VIEW FROM NEW QUAY PROMENADE

**ISSUE PURPOSE**  
 TOWN PLANNING

**REV**  
 B

**DRAWING NO.**  
 TP301



BIMcloud: kaaprbim01 - BIMcloud/22010 699 La Trobe Street 81R/00 BIM MODELS/SD - TP-DA-CENTRAL\_MODELS/22010 General

REVISION		DATE	REVISION
-	TOWN PLANNING ISSUE	20.10.2023	
A	TOWN PLANNING SUBMISSION	21.08.2024	
B	TOWN PLANNING SUBMISSION	30.01.2025	

**QUALITY ASSURANCE** (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)  
 THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM

- SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE DATE OF REVIEW: 31.08.2023
- DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS COMPLETE DATE OF REVIEW: 12.05.2025
- TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED
- CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED

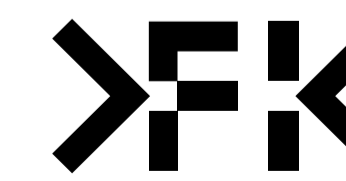
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
GH	30.01.2025	KT	12.05.2025	22010	N.T.S.@A1

**PROJECT**  
 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

WWW.FKAUSTRALIA.COM  
 2 RIVERSIDE QUAY, SOUTHBANK  
 VICTORIA 3008 AUSTRALIA  
 TELEPHONE: +61 3 8596 3888  
 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



**DRAWING TITLE**  
 VIEW FROM VICTORIA HARBOUR PROMENADE

**ISSUE PURPOSE**  
 TOWN PLANNING

**REV**  
 B

**DRAWING NO.**  
**TP302**



BIMcloud: kaaprbm01 - BIMcloud\22010 699 La Trobe Street 81R\00 BIM MODELS\SD - TP-DA-CENTRAL MODELS\22010 General

REVISION		DATE	REVISION
-	TOWN PLANNING ISSUE	KT 20.10.2023	
A	TOWN PLANNING SUBMISSION	KT 21.08.2024	
B	TOWN PLANNING SUBMISSION	KT 30.01.2025	

**QUALITY ASSURANCE** (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)  
 THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM

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<input checked="" type="checkbox"/> DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS COMPLETE.	DATE OF REVIEW: 12.05.2025
<input type="checkbox"/> TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.	
<input type="checkbox"/> CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.	

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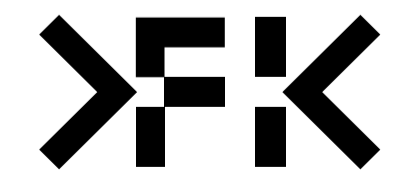
DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
GH	30.01.2025	KT	12.05.2025	22010	N.T.S.@A1

**PROJECT**  
 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

WWW.FKAUSTRALIA.COM  
 2 RIVERSIDE QUAY, SOUTHBANK  
 VICTORIA 3008 AUSTRALIA  
 TELEPHONE: +61 3 8696 3688  
 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

**DRAWING TITLE**  
 HARBOUR ESPLANADE PODIUM VIEW

**ISSUE PURPOSE**  
 TOWN PLANNING



**REV**  
 B

**DRAWING NO.**  
 TP303



**NORTHERN ENTRANCE**  
SCALE 1:70@A1

**SOUTHERN ENTRANCE**  
SCALE 1:70@A1

**EAST ENTRANCE**  
SCALE 1:70@A1

**WEST ENTRANCE**  
SCALE 1:70@A1

**ELEVATION LEGEND**

- (G1) SILVER VISION GLAZING
- (G15) SILVER SPANDREL GLAZING
- (G2) GREY VISION GLAZING
- (G25) GREY SPANDREL GLAZING
- (G3) SILVER GREY VISION GLAZING
- (G35) SILVER GREY SPANDREL GLAZING
- (G4) CLEAR GLAZING
- (C1) CONCRETE NATURAL GREY FINISH
- (C2) COLOURED CONCRETE CREAM FINISH
- (C3) COLOURED CONCRETE DARK CREAM FINISH
- (C4) TEXTURED COLOURED CONCRETE DARK CREAM FINISH
- (C5) COLOURED CONCRETE - FADED OCHRE FINISH
- (B1) BRICK WARM OCHRE FINISH
- (M1) ALUMINIUM SATIN FINISH WARM WHITE
- (M2) ALUMINIUM SATIN FINISH CHARCOAL
- (M3) FINISHED STAINLESS STEEL
- (Ba1) ALUMINIUM SATIN FINISH CHARCOAL BALUSTRADE
- (LV1) ALUMINIUM SATIN FINISH CHARCOAL LOUVRES
- (LV2) ALUMINIUM SATIN FINISH CHARCOAL Z-PURLIN VERTICAL SCREEN
- (T1) PAINT FINISH CHARCOAL
- (F1) FIBRE CEMENT CLADDING CHARCOAL
- (T) NATURAL STAINED TIMBER FINISH

REVISION	DATE	BY
-	20.10.2023	KT
A	21.08.2024	KT
B	30.01.2025	KT
C	12.05.2025	GH

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 CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.

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**NOTES**

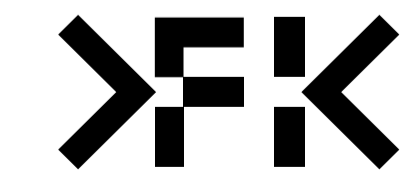
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
GH	12.05.2025	KT	12.05.2025	22010	N.T.S.@A1

**PROJECT**

699 LA TROBE ST  
699 LATROBE ST  
DOCKLANDS VICTORIA 3008

WWW.FKAUSTRALIA.COM  
2 RIVERSIDE QUAY, SOUTHBANK  
VICTORIA 3006 AUSTRALIA  
TELEPHONE: +61 3 8596 3888  
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



**DRAWING TITLE**

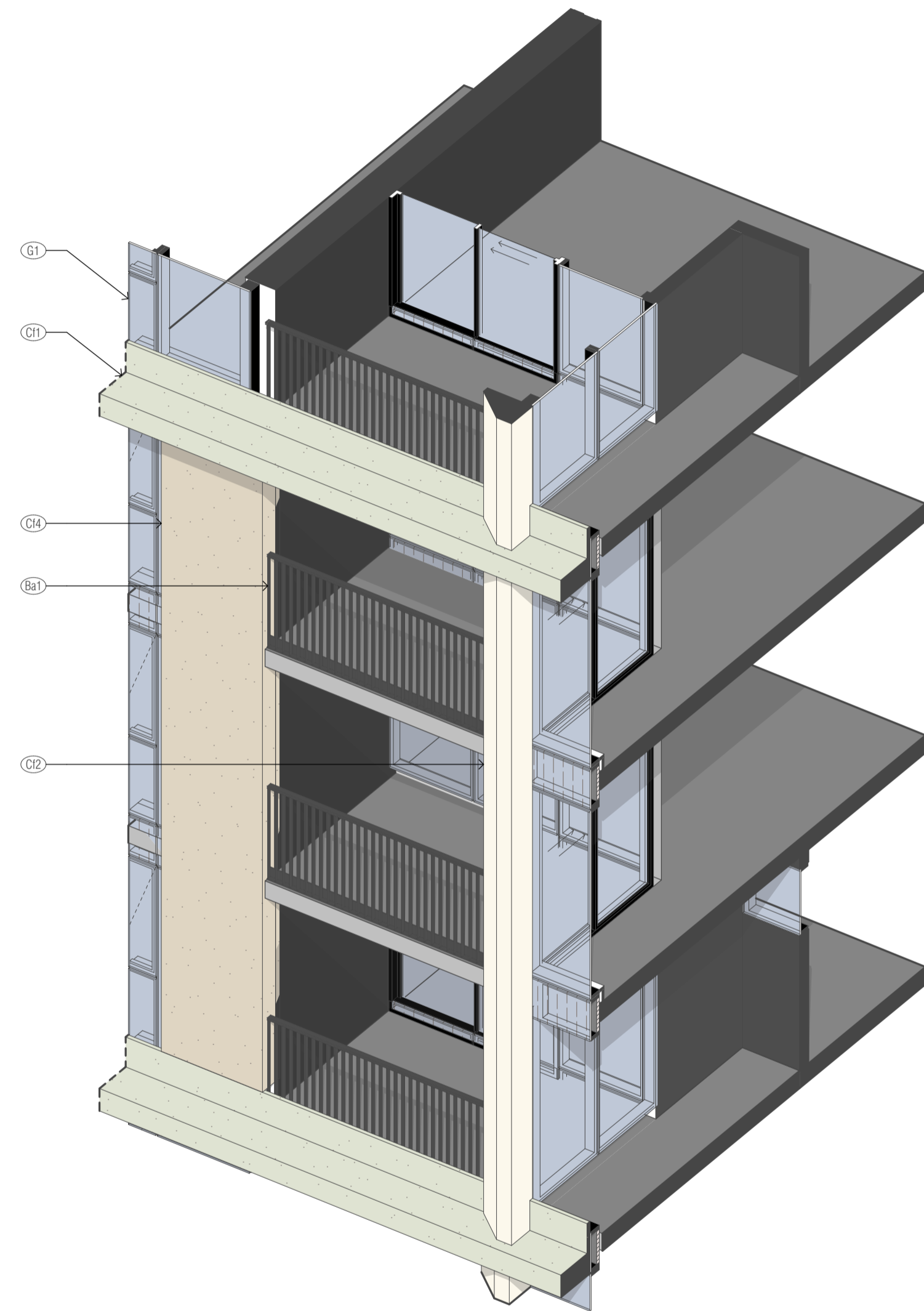
3D FACADE TYPE - PODIUM

**ISSUE PURPOSE**

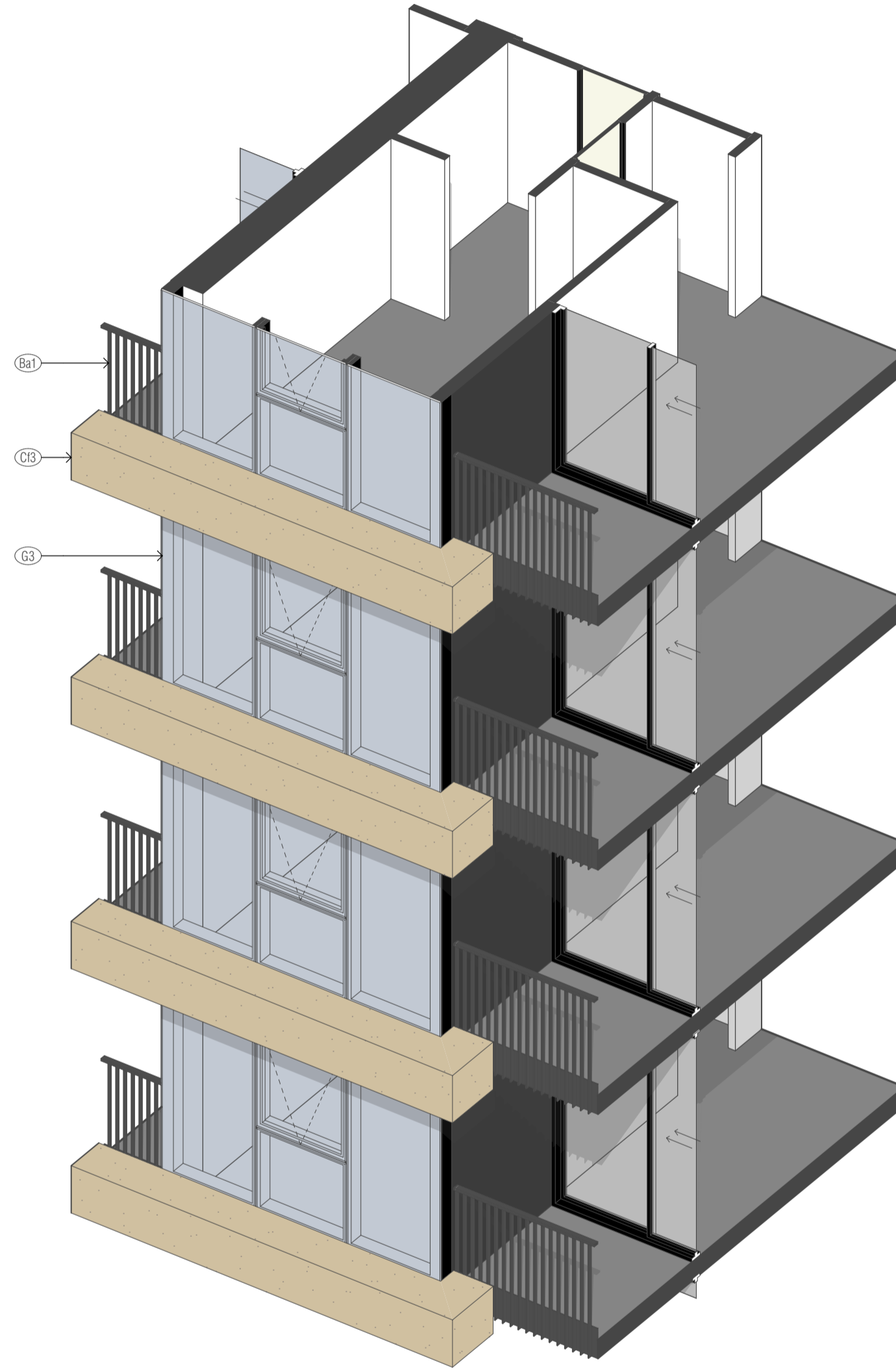
TOWN PLANNING RFI

**REV**  
C

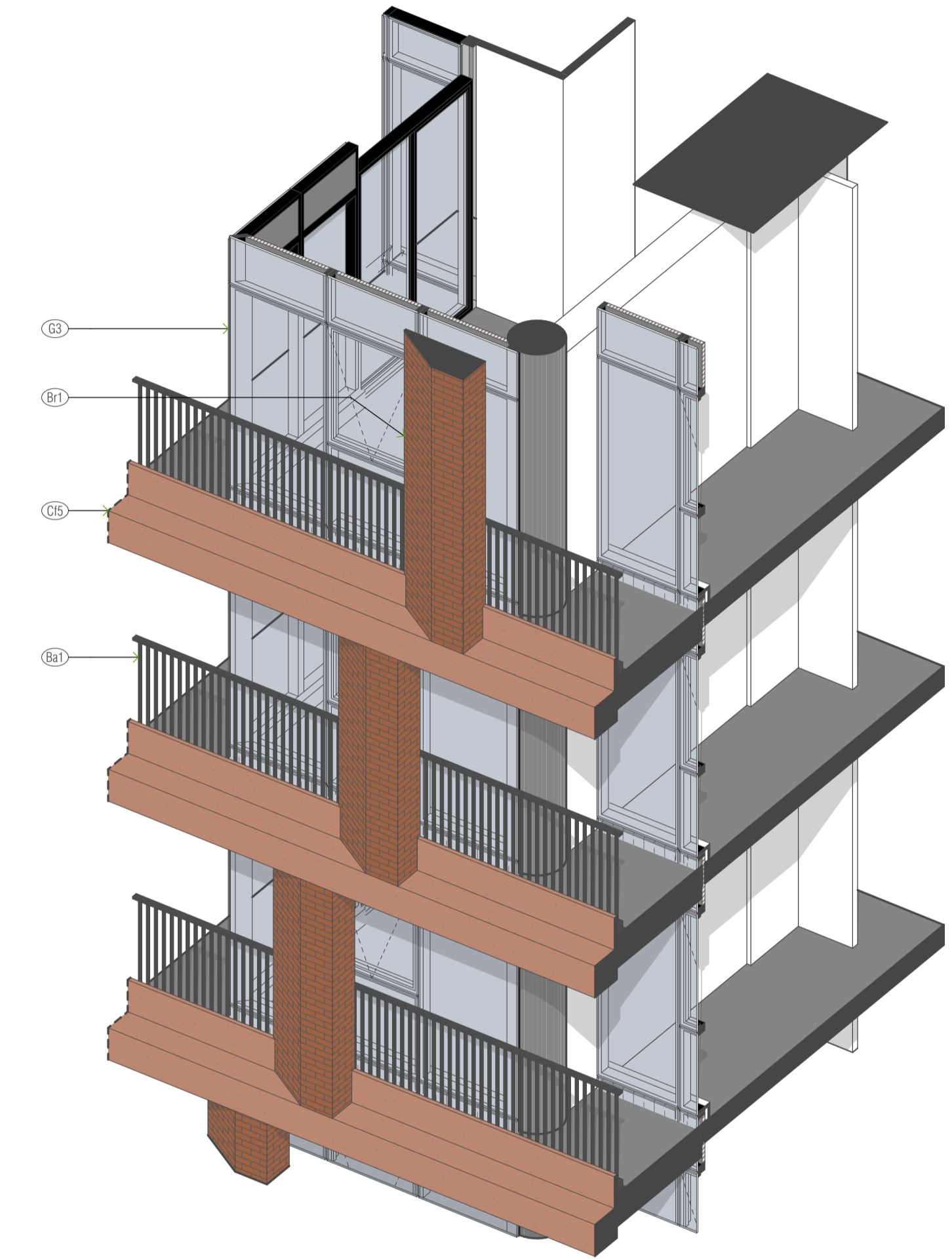
**DRAWING NO.**  
TP330



FT1 FACADE TYPE 1 - TOWER FACADE 1



FT2 FACADE TYPE 2 - TOWER FACADE 2  
SCALE 1:52.98@A1



FP1 PODIUM TYPE 1 - PODIUM FACADE 1  
SCALE 1:52.98@A1

ELEVATION LEGEND

- |                                  |  |   |  |
|----------------------------------|--|---|--|
| G1 SILVER VISION GLAZING         | G4 CLEAR GLAZING                                 | G15 COLOURED CONCRETE - FADED OCHRE FINISH    | L17 ALUMINIUM SATIN FINISH CHARCOAL LOUVRES                  |
| G15 SILVER SPANDREL GLAZING      | G11 CONCRETE NATURAL GREY FINISH                 | B11 BRICK WARM OCHRE FINISH                   | L12 ALUMINIUM SATIN FINISH CHARCOAL Z-PURLIN VERTICAL SCREEN |
| G2 GREY VISION GLAZING           | G12 COLOURED CONCRETE CREAM FINISH               | M1 ALUMINIUM SATIN FINISH WARM WHITE          | P1 PAINT FINISH CHARCOAL                                     |
| G25 GREY SPANDREL GLAZING        | G13 COLOURED CONCRETE DARK CREAM FINISH          | M2 ALUMINIUM SATIN FINISH CHARCOAL            | F1 FIBRE CEMENT CLADDING CHARCOAL                            |
| G3 SILVER GREY VISION GLAZING    | G14 TEXTURED COLOURED CONCRETE DARK CREAM FINISH | M3 LINED STAINLESS STEEL                      | T1 NATURAL STAINED TIMBER FINISH                             |
| G35 SILVER GREY SPANDREL GLAZING |  | B1 ALUMINIUM SATIN FINISH CHARCOAL BALUSTRADE |  |

REVISION	DATE	BY
-	TOWN PLANNING ISSUE	KT 20.10.2023
A	TOWN PLANNING SUBMISSION	KT 21.08.2024
B	TOWN PLANNING SUBMISSION	KT 30.01.2025
C	TOWN PLANNING RFI	GH 12.05.2025

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SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE DATE OF REVIEW: 31.08.2023  
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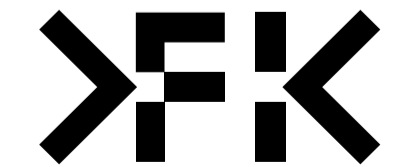
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
GH	12.05.2025	KT	12.05.2025	22010	N.T.S.@A1

**PROJECT**

699 LA TROBE ST  
699 LATROBE ST  
DOCKLANDS VICTORIA 3008

WWW.FKAUSTRALIA.COM  
2 RIVERSIDE QUAY, SOUTHBANK  
VICTORIA 3006 AUSTRALIA  
TELEPHONE: +61 3 8596 3888  
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



**DRAWING TITLE**

3D FACADE TYPE - TOWER

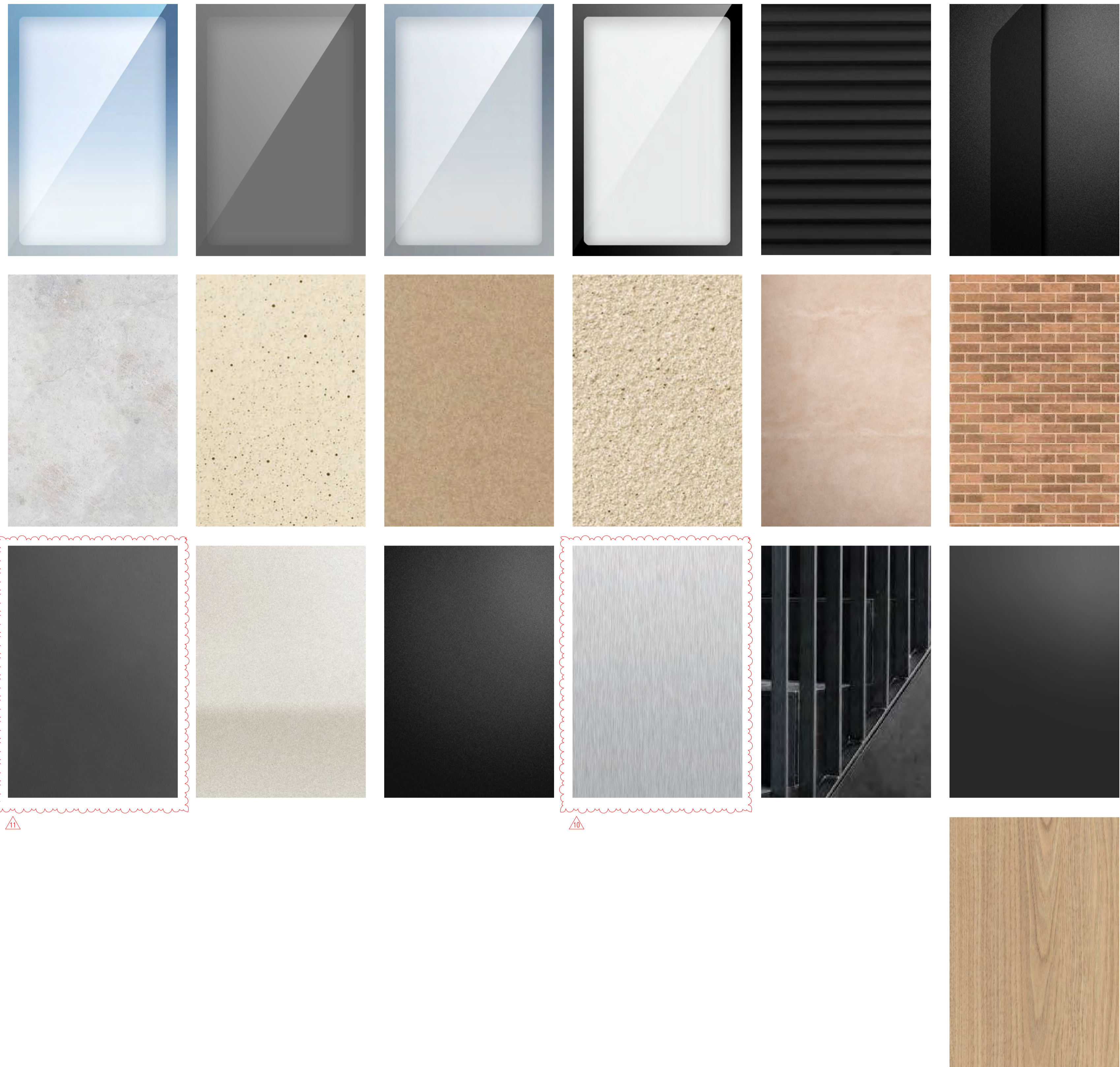
**ISSUE PURPOSE**

TOWN PLANNING RFI

REV. C  
**TP331**

# EXTERNAL FINISHES

G1	G2	G3	G4	Lv1	Lv2
G1s	G2s	G3s	G4s		
Cf1	Cf2	Cf3	Cf4	Cf5	Br1
Fc1	M1	M2	M3	Ba1	P1
					T1



## MATERIAL FINISHES LEGEND

G1 SILVER VISION GLAZING	Cf1 CONCRETE NATURAL GREY FINISH
G1s SILVER SPANDREL GLAZING	Cf2 CONCRETE CREAM FINISH
G2 GREY VISION GLAZING	Cf3 CONCRETE DARK CREAM FINISH
G2s GREY SPANDREL GLAZING	Cf4 TEXTURED COLOURED CONCRETE DARK CREAM FINISH
G3 SILVER GREY VISION GLAZING	Cf5 COLOURED CONCRETE FADED OCHRE FINISH
G3s SILVER GREY SPANDREL GLAZING	Br1 BRICK WARM OCHRE FINISH
G4 CLEAR GLAZING	M1 ALUMINIUM SATIN FINISH WARM WHITE
Lv1 ALUMINIUM SATIN FINISH CHARCOAL LOUVRES	M2 ALUMINIUM SATIN FINISH CHARCOAL
Lv2 ALUMINIUM SATIN FINISH CHARCOAL Z-PURLIN VERTICAL SCREEN	M3 LINED STAINLESS STEEL
Fc1 FIBRE CEMENT CLADDING CHARCOAL	Ba1 ALUMINIUM SATIN FINISH CHARCOAL BALUSTRADE
	P1 PAINT FINISH CHARCOAL
	T1 NATURAL STAINED TIMBER FINISH ALUMINIUM

BIMcloud: Knapprbim01 - BIMcloud\22010 699 La Trobe Street 817R\00 BIM MODELS\SD - TP-DA-CENTRAL MODELS\22010 General

REVISION	DATE	REVISION
-	KT	20.10.2023
A	KT	21.08.2024
B	KT	30.01.2025
C	GH	12.05.2025

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GH	12.05.2025	KT	12.05.2025	22010	N.T.S.@A1

**PROJECT**  
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 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

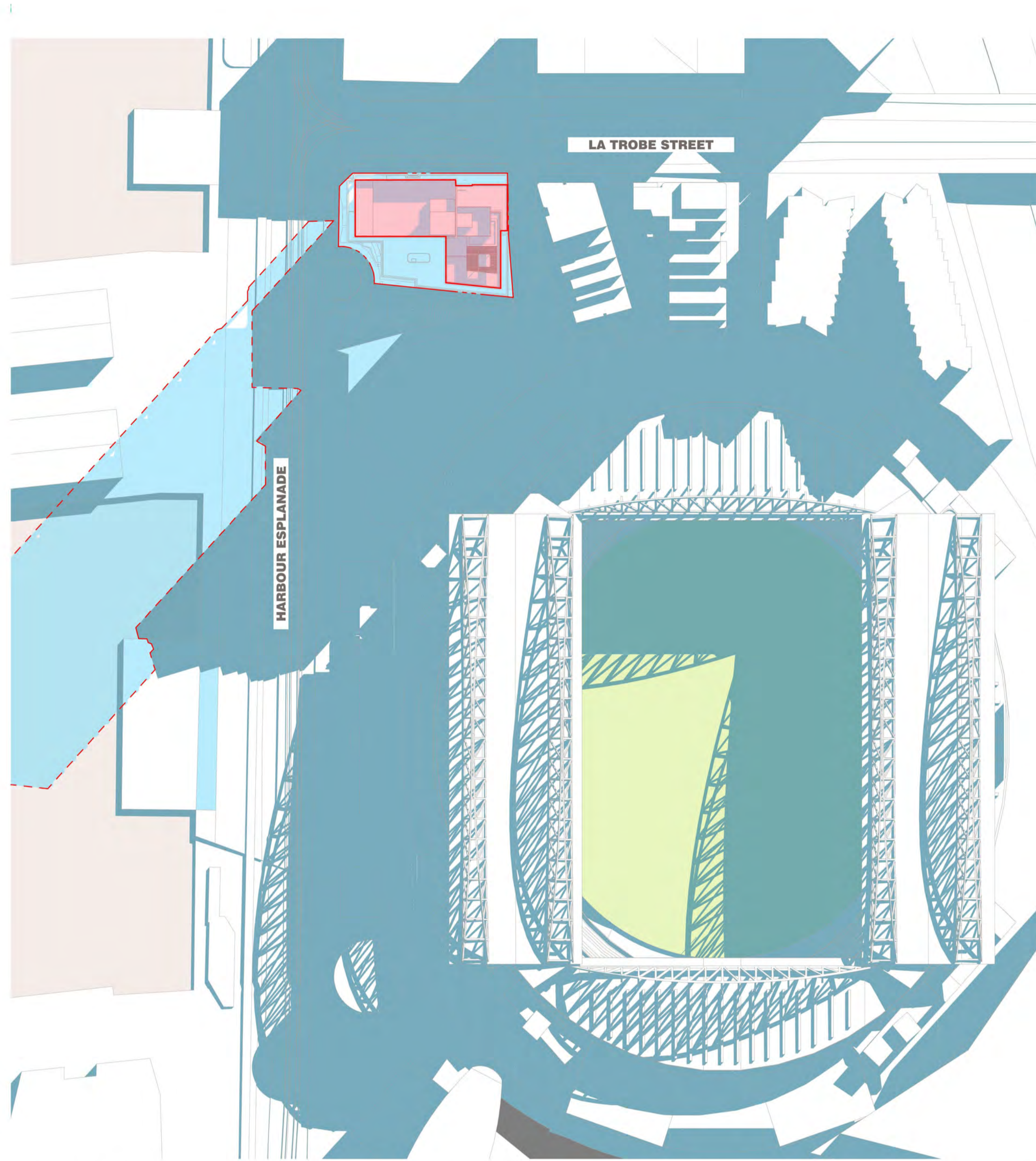
WWW.FKAUSTRALIA.COM  
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 VICTORIA 3006 AUSTRALIA  
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 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



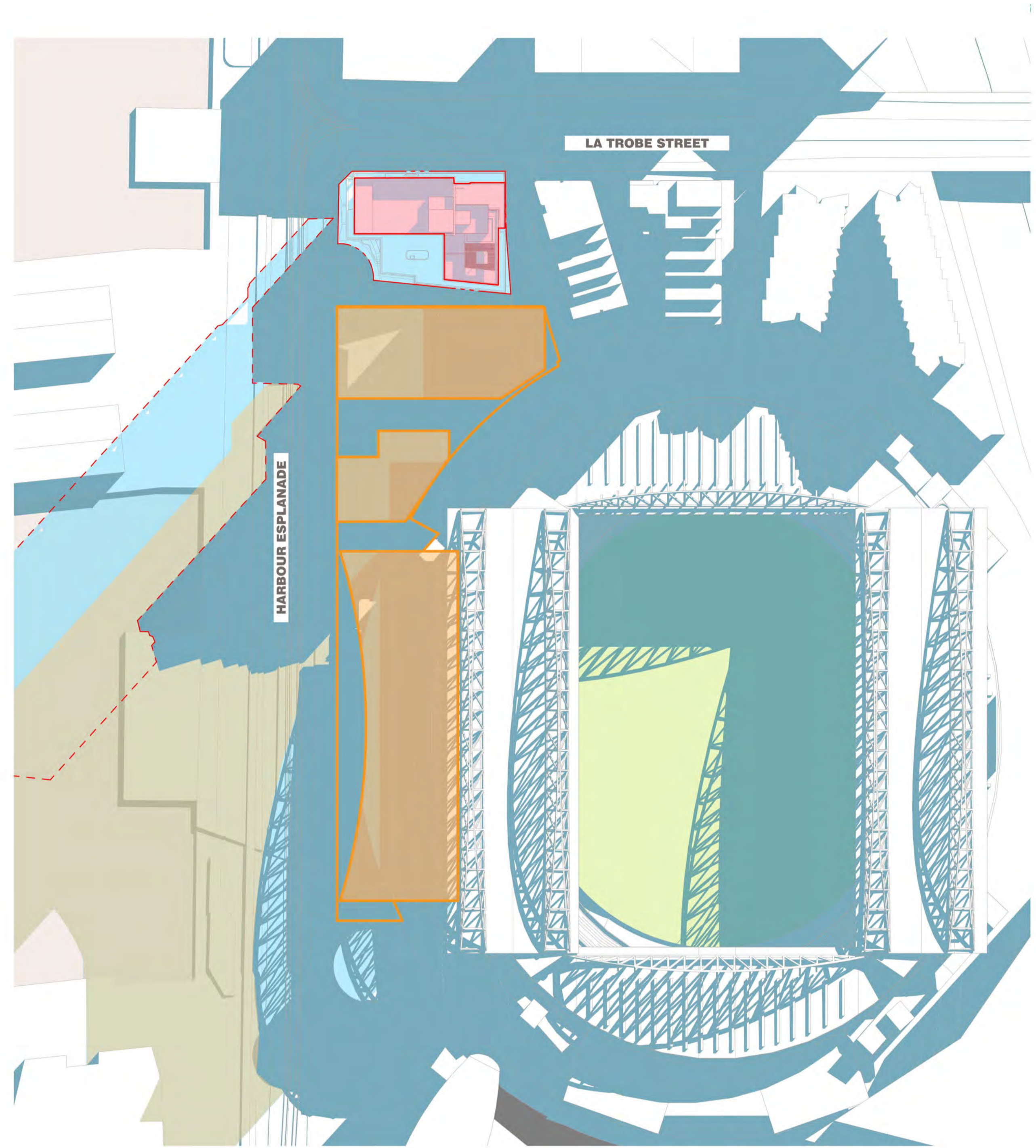
**DRAWING TITLE**  
 FINISHES SCHEDULE

**ISSUE PURPOSE**  
 TOWN PLANNING RFI

**REV**  
 C  
**DRAWING NO.**  
 TP350



SHADOW ANALYSIS NOT INCLUDING HEP DEVELOPMENT | 21 JUNE 11:00AM  
1:1000



SHADOW ANALYSIS INCLUDING HEP DEVELOPMENT | 21 JUNE 11:00AM  
1:1000

→ SHADOW DIAGRAMS LEGEND

\*HEP - HARBOUR ESPLANADE PRECINCT

- SITE BOUNDARY
- EXISTING BUILDING SHADOWS
- PROPOSED SHADOWS ON PLAYING SURFACE
- PROPOSED SHADOWS EXCEEDING HEP'S SHADOWS
- APPROVED HEP ENVELOPE
- HEP ENVELOPE SHADOWS ON PLAYING SURFACE

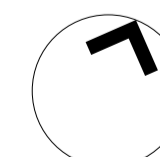
BIMcloud: kaaprbim01 - BIMcloud22010 699 La Trobe Street 81R/00 BIM MODELS/SD - TP-DA-CENTRAL\_MODELS/22010 General

REVISION		DATE	REVISION
-	TOWN PLANNING ISSUE	KT 20.10.2023	
A	TOWN PLANNING SUBMISSION	KT 21.08.2024	
→ B	TOWN PLANNING SUBMISSION	KT 30.01.2025	

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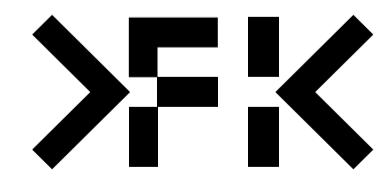
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GH	30.01.2025	KT	12.05.2025	22010	1:1000@A1



**PROJECT**  
 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

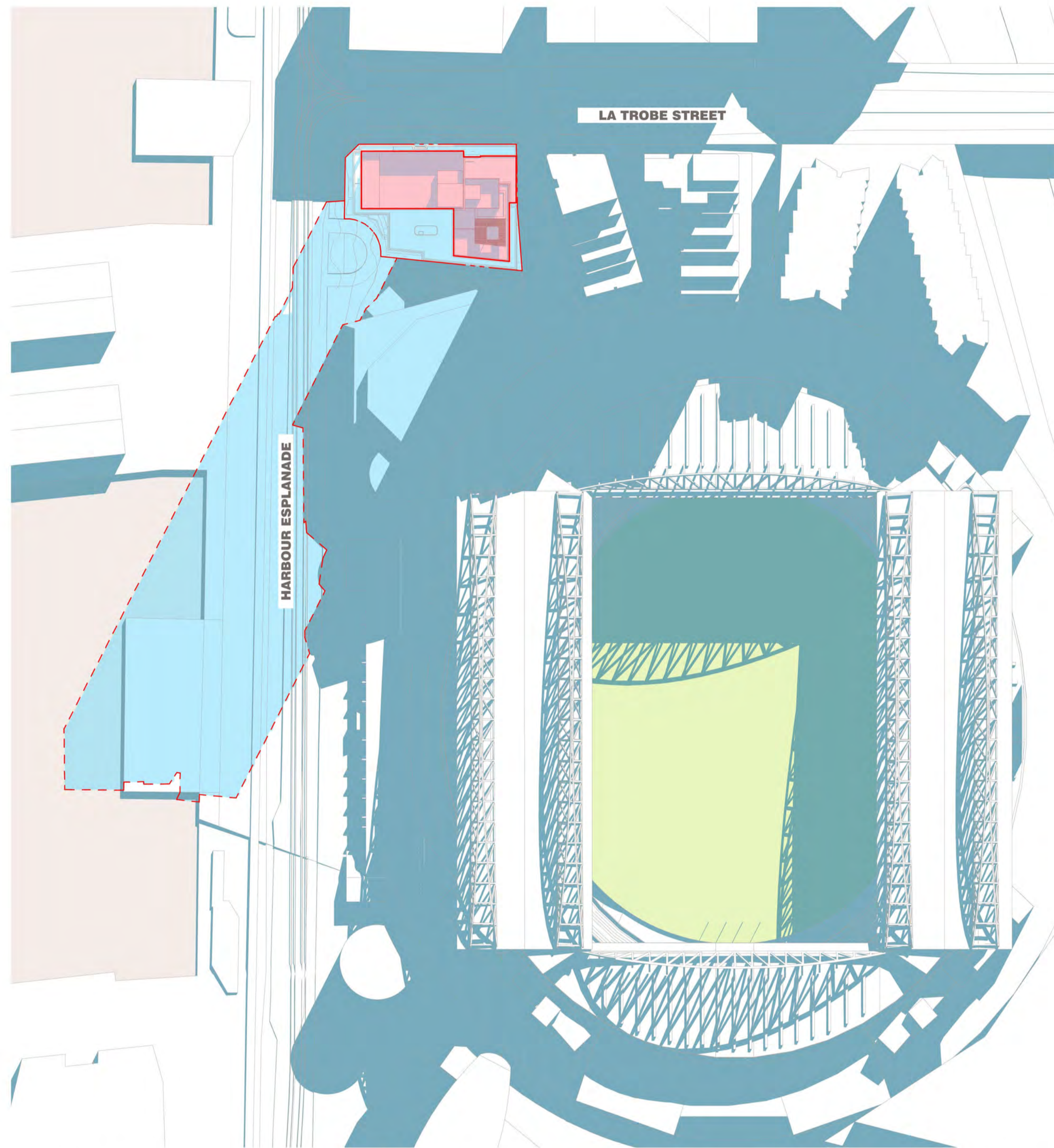
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 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



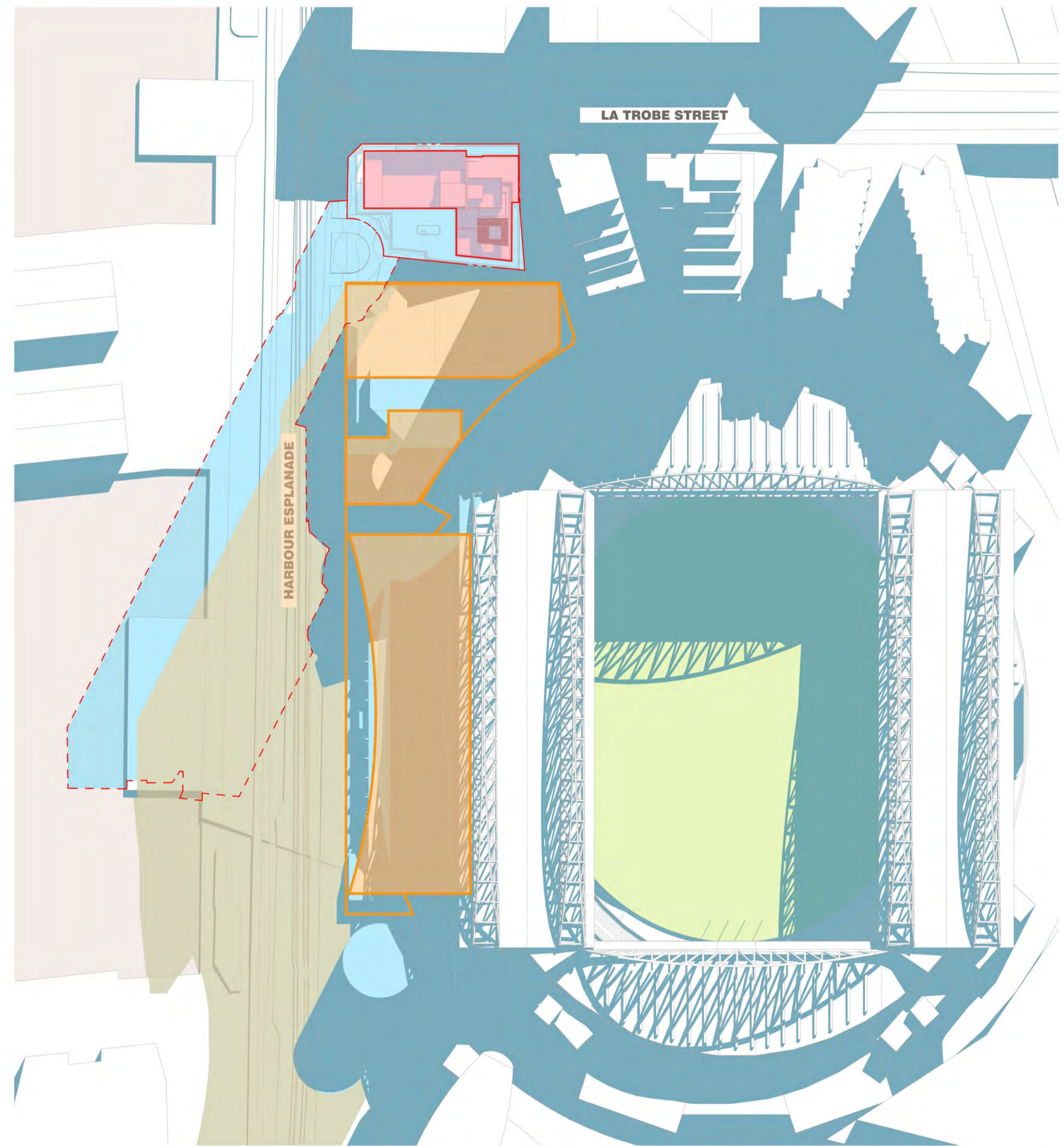
**DRAWING TITLE**  
 SHADOW DIAGRAM  
 21 JUN 11:00

**ISSUE PURPOSE**  
 TOWN PLANNING

**REV** B  
**DRAWING NO.** TP400



SHADOW ANALYSIS NOT INCLUDING HEP DEVELOPMENT | 21 JUNE 12:00PM  
1:1000



SHADOW ANALYSIS INCLUDING HEP DEVELOPMENT | 21 JUNE 12:00PM  
1:1000

→ SHADOW DIAGRAMS LEGEND

\*HEP - HARBOUR ESPLANADE PRECINCT

- SITE BOUNDARY
- EXISTING BUILDING SHADOWS
- PROPOSED SHADOWS ON PLAYING SURFACE
- PROPOSED SHADOWS EXCEEDING HEP'S SHADOWS
- APPROVED HEP ENVELOPE
- HEP ENVELOPE SHADOWS ON PLAYING SURFACE

BIMcloud: kaaprbim01 - BIMcloud22010 699 La Trobe Street 619000 BIM MODELS:SD -TP-DACENTRAL\_MODELS\22010 General

REVISION		DATE	REVISION
-	TOWN PLANNING ISSUE	KT 20.10.2023	
A	TOWN PLANNING SUBMISSION	KT 21.08.2024	
→ B	TOWN PLANNING SUBMISSION	KT 30.01.2025	

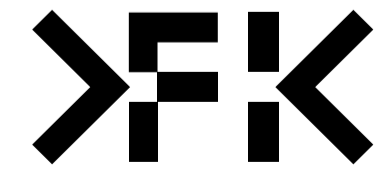
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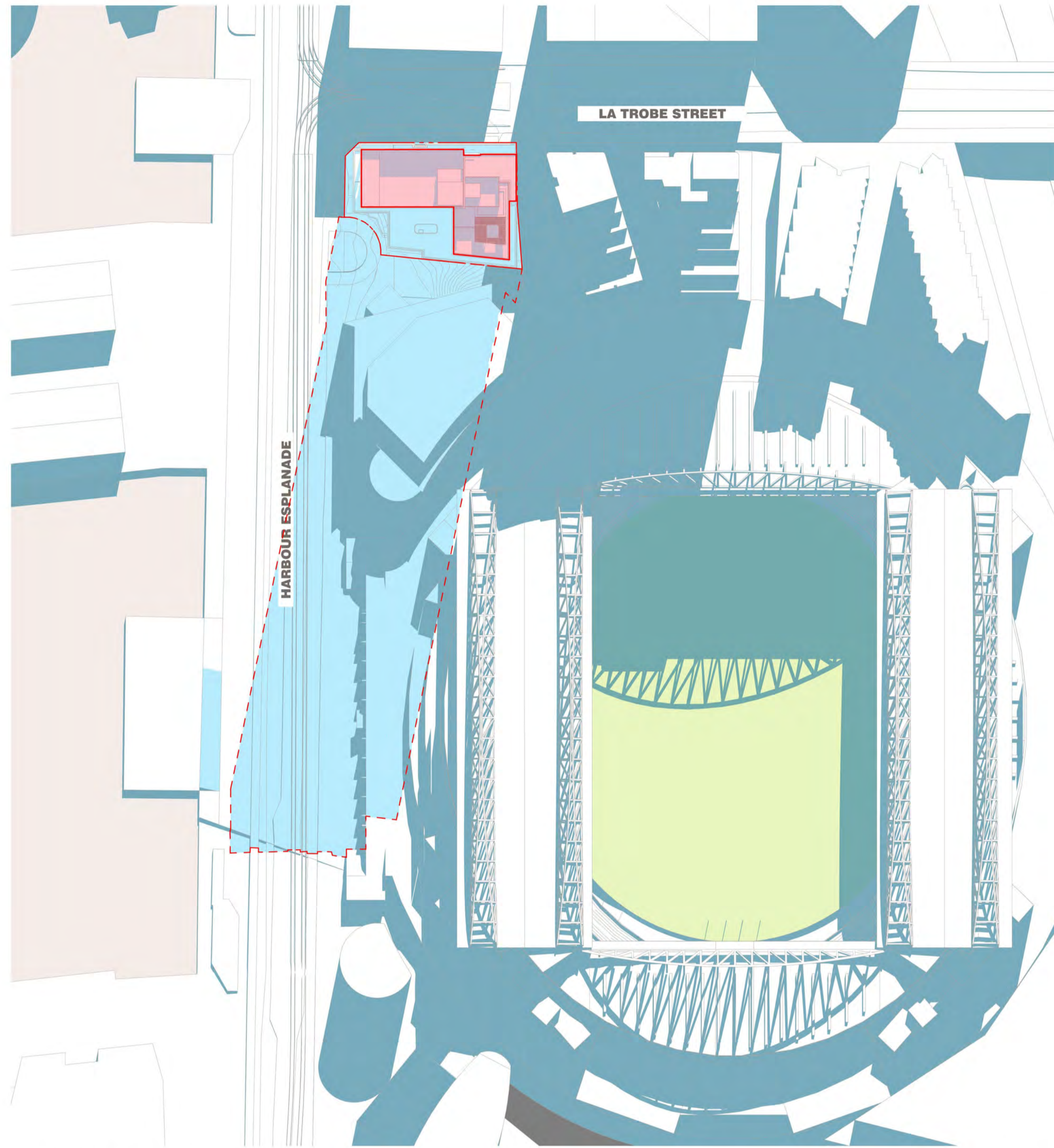
**PROJECT**  
 699 LA TROBE ST  
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 DOCKLANDS VICTORIA 3008

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 TELEPHONE: +61 3 8696 3888  
 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

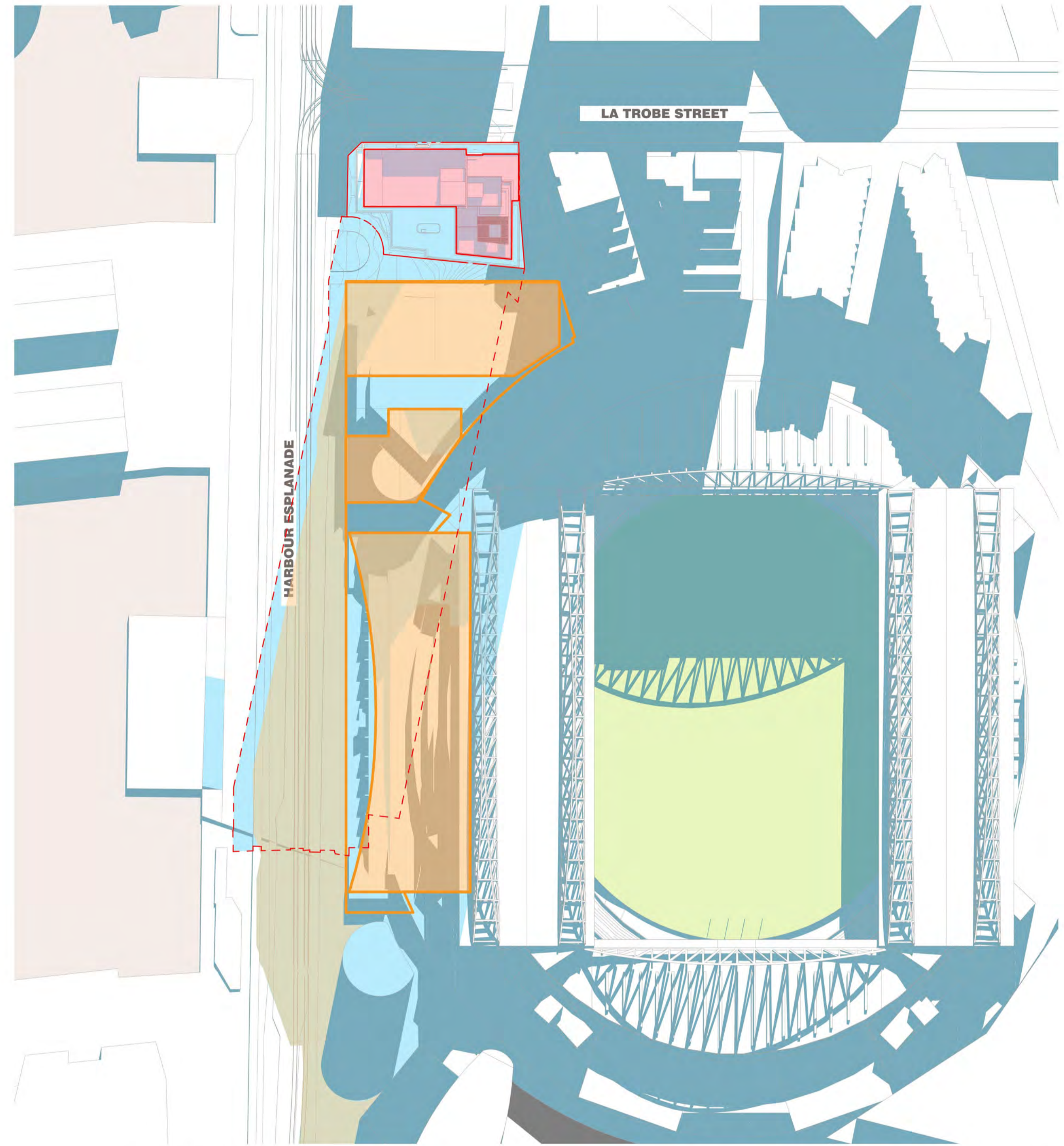


**ISSUE PURPOSE**  
 TOWN PLANNING

**REV** B  
**DRAWING NO.** TP401



SHADOW ANALYSIS NOT INCLUDING HEP DEVELOPMENT | 21 JUNE 1:00PM  
1:1000



SHADOW ANALYSIS INCLUDING HEP DEVELOPMENT | 21 JUNE 1:00PM  
1:1000

→ SHADOW DIAGRAMS LEGEND

\*HEP - HARBOUR ESPLANADE PRECINCT

- SITE BOUNDARY
- EXISTING BUILDING SHADOWS
- PROPOSED SHADOWS ON PLAYING SURFACE
- PROPOSED SHADOWS EXCEEDING HEP'S SHADOWS
- APPROVED HEP ENVELOPE
- HEP ENVELOPE SHADOWS ON PLAYING SURFACE

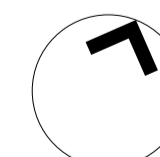
BIMcloud: kaaprbim01 - BIMcloud22010 699 La Trobe Street 619/000 BIM MODELS/SD TP-DACENTRAL MODELS/22010 General

REVISION		DATE	REVISION
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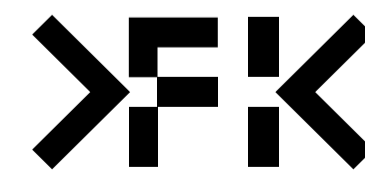
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**PROJECT**  
 699 LA TROBE ST  
 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

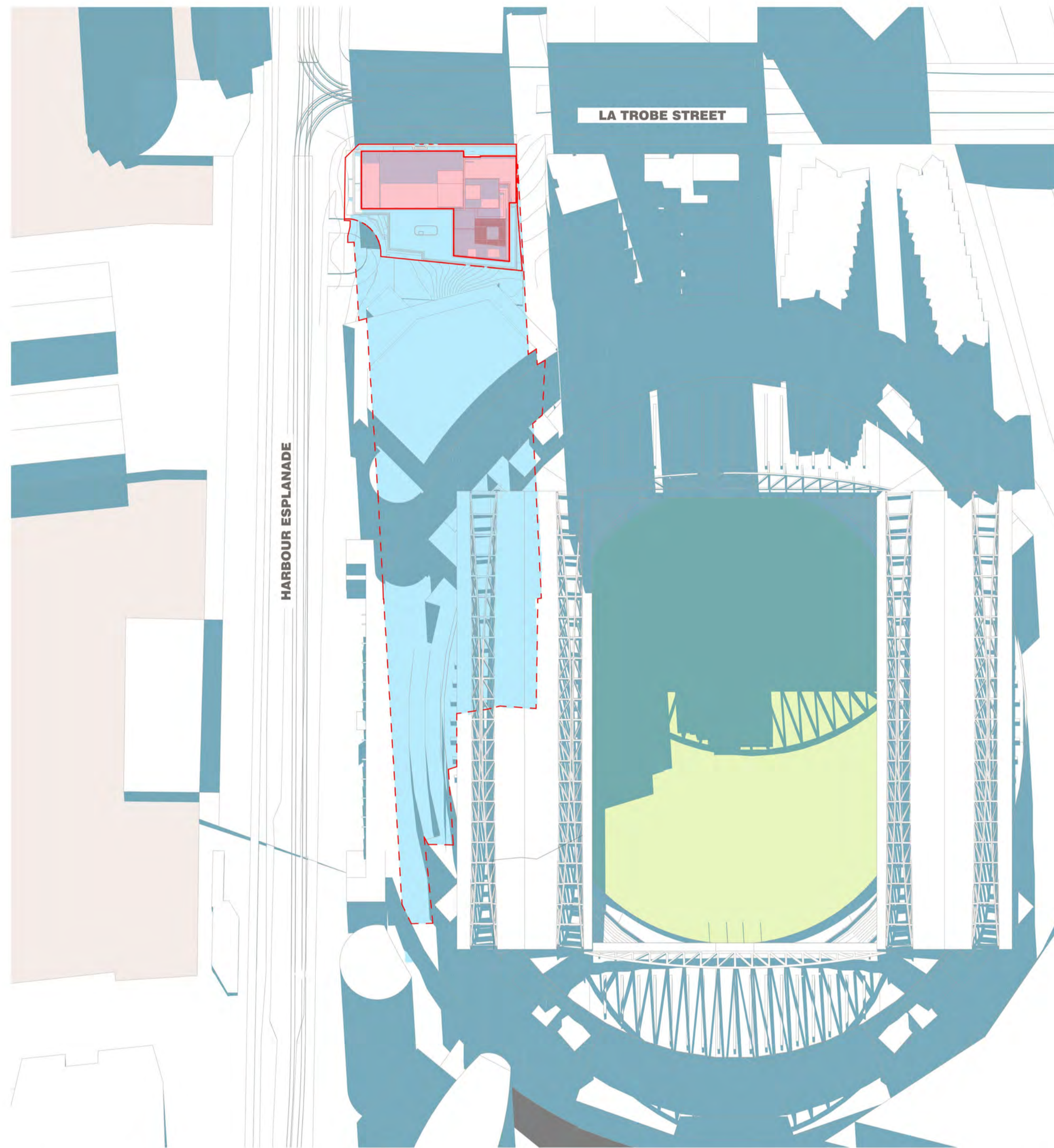
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 2 RIVERSIDE QUAY, SOUTHBANK  
 VICTORIA 3006 AUSTRALIA  
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 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



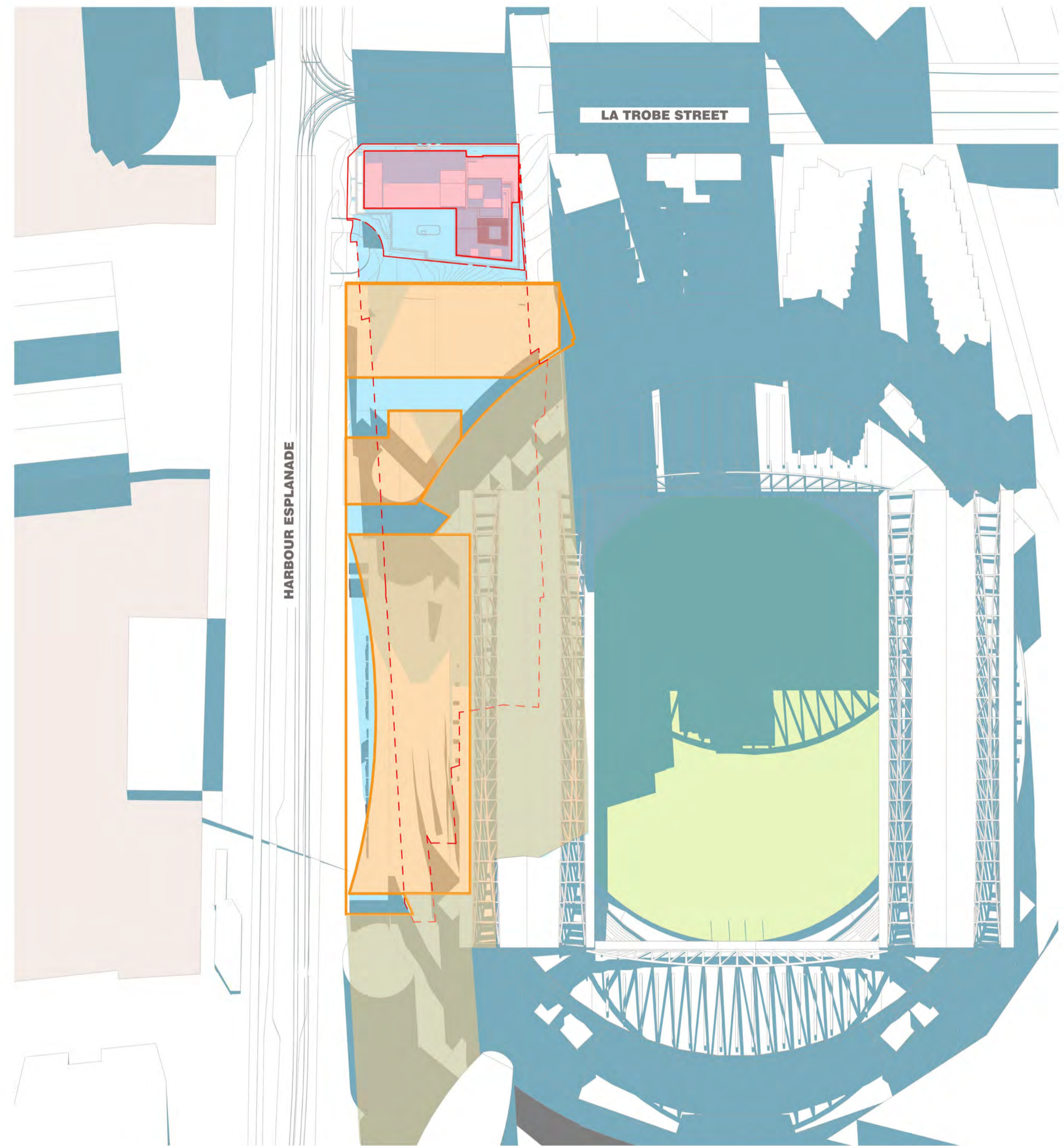
**DRAWING TITLE**  
 SHADOW DIAGRAM  
 21 JUN 13:00

**ISSUE PURPOSE**  
 TOWN PLANNING

**REV** B  
**DRAWING NO.** TP402



SHADOW ANALYSIS NOT INCLUDING HEP DEVELOPMENT | 21 JUNE 2:00PM  
1:1000



SHADOW ANALYSIS INCLUDING HEP DEVELOPMENT | 21 JUNE 2:00PM  
1:1000

→ SHADOW DIAGRAMS LEGEND

\*HEP - HARBOUR ESPLANADE PRECINCT

- SITE BOUNDARY
- EXISTING BUILDING SHADOWS
- PROPOSED SHADOWS ON PLAYING SURFACE
- PROPOSED SHADOWS EXCEEDING HEP'S SHADOWS
- APPROVED HEP ENVELOPE
- HEP ENVELOPE SHADOWS ON PLAYING SURFACE

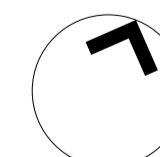
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REVISION		DATE	REVISION
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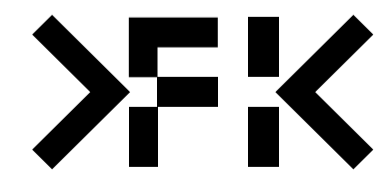
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GH	30.01.2025	KT	12.05.2025	22010	1:1000@A1



**PROJECT**  
 699 LA TROBE ST  
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 DOCKLANDS VICTORIA 3008

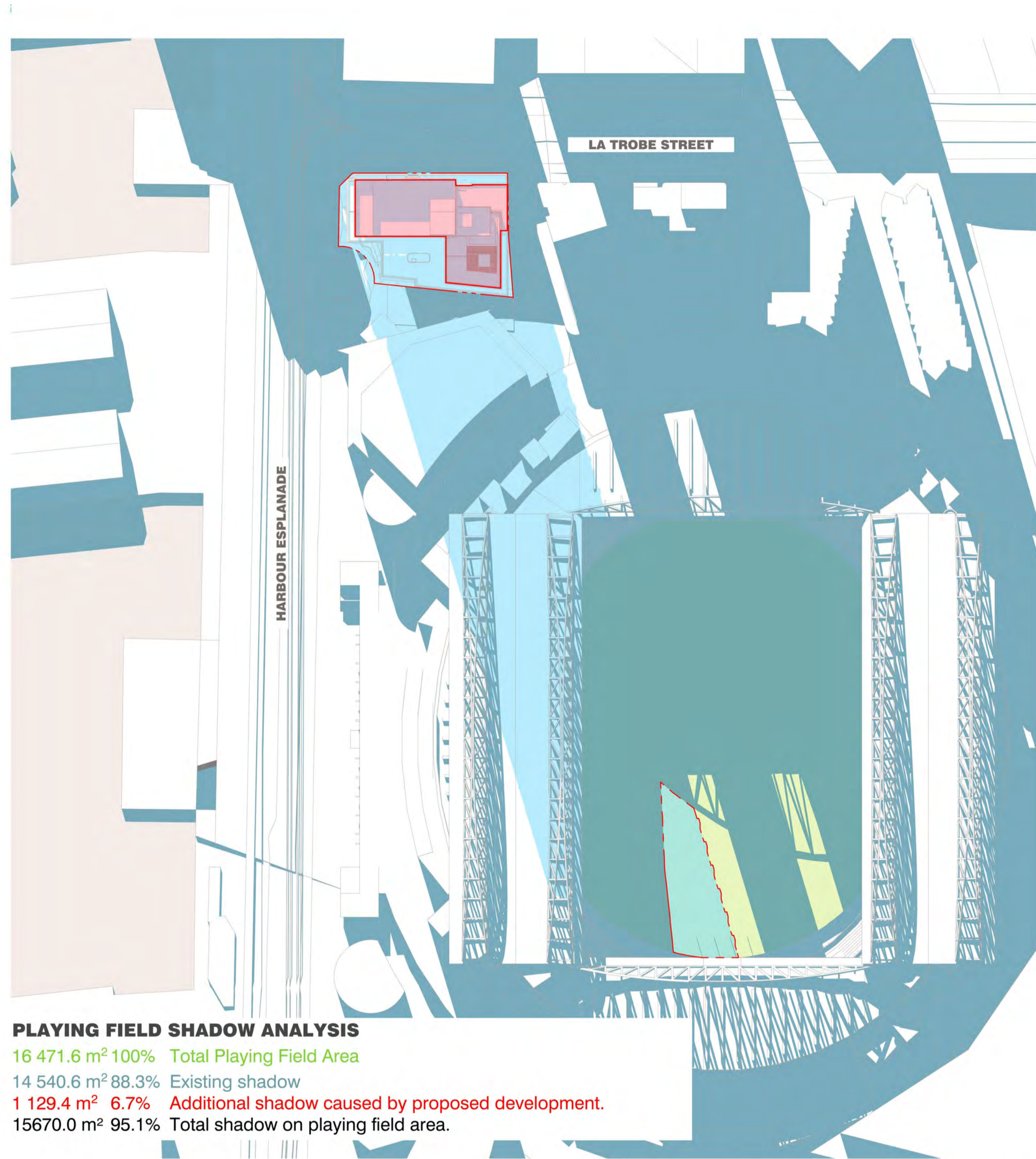
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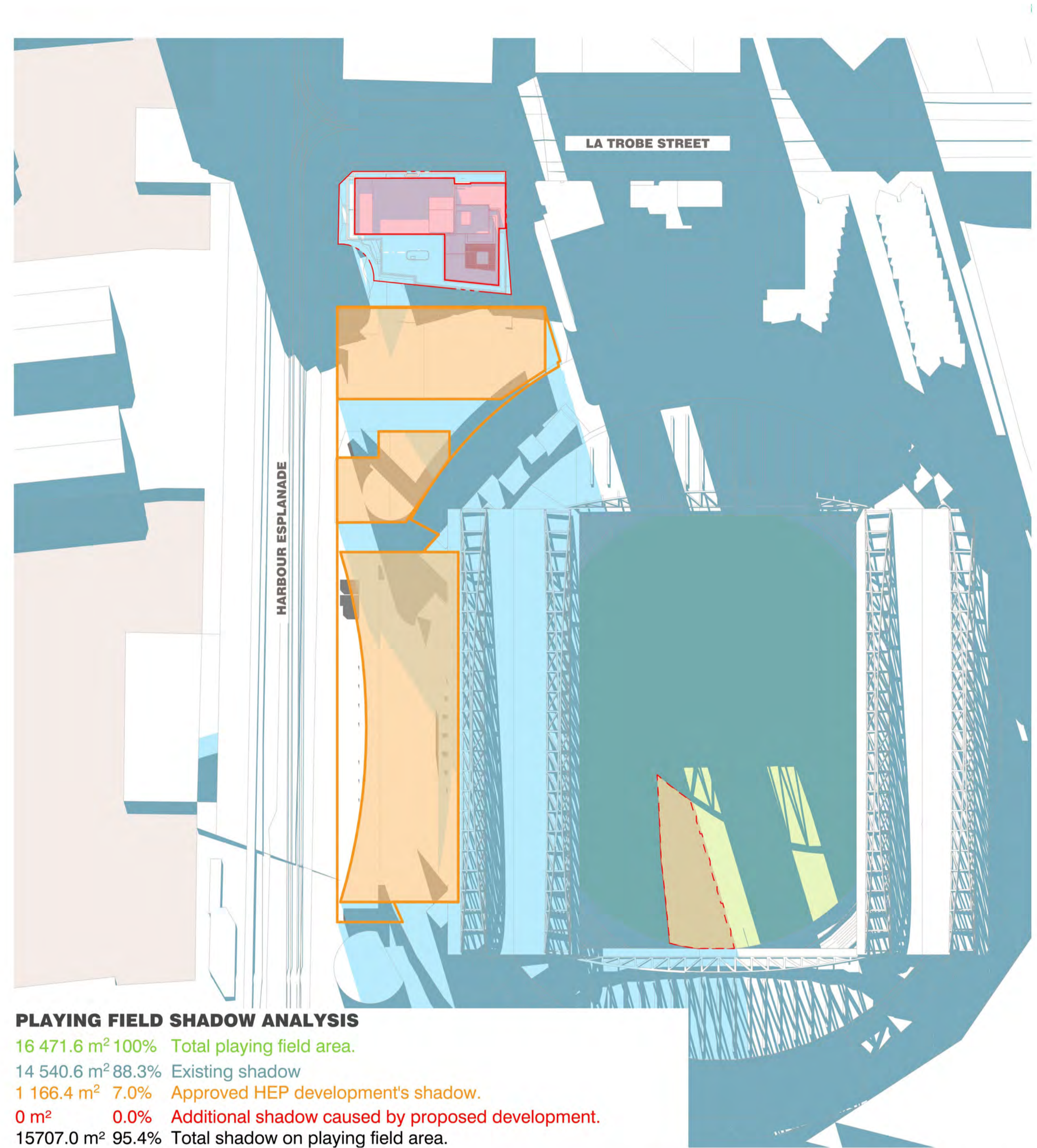
**DRAWING TITLE**  
 SHADOW DIAGRAM  
 21 JUN 14:00

**ISSUE PURPOSE**  
 TOWN PLANNING

**REV** B **DRAWING NO.** TP403



SHADOW ANALYSIS NOT INCLUDING HEP DEVELOPMENT | 21 JUNE 3:00PM  
 1:1000



SHADOW ANALYSIS INCLUDING HEP DEVELOPMENT | 21 JUNE 3:00PM  
 1:1000

→ **SHADOW DIAGRAMS LEGEND**

\*HEP - HARBOUR ESPLANADE PRECINCT

- SITE BOUNDARY
- EXISTING BUILDING SHADOWS
- PROPOSED SHADOWS ON PLAYING SURFACE
- PROPOSED SHADOWS EXCEEDING HEP'S SHADOWS
- APPROVED HEP ENVELOPE
- HEP ENVELOPE SHADOWS ON PLAYING SURFACE

BIMcloud: kaaprbim01 - BIMcloud22010 699 La Trobe Street 61R/000 BIM MODELS/SD TP-DA/CENTRAL MODELS/22010 General

REVISION		DATE	REVISION
-	TOWN PLANNING ISSUE	KT 20.10.2023	
A	TOWN PLANNING SUBMISSION	KT 21.08.2024	
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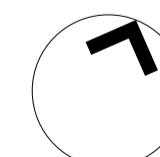
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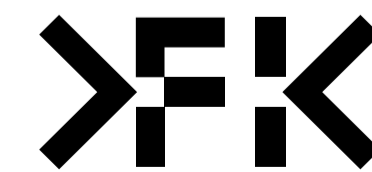
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**PROJECT**  
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 2 RIVERSIDE QUAY, SOUTHBANK  
 VICTORIA 3006 AUSTRALIA  
 TELEPHONE: +61 3 8596 3888  
 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

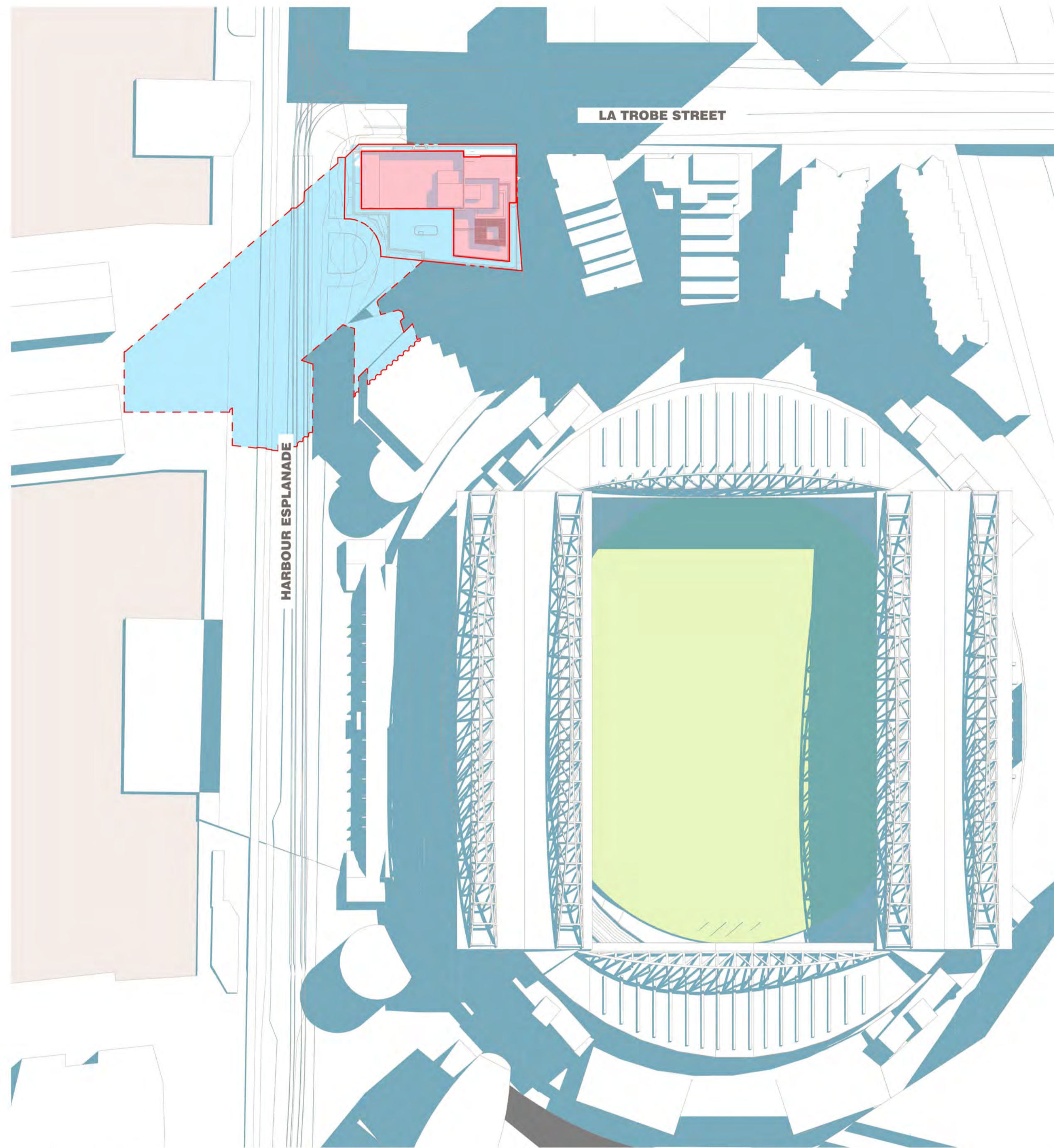


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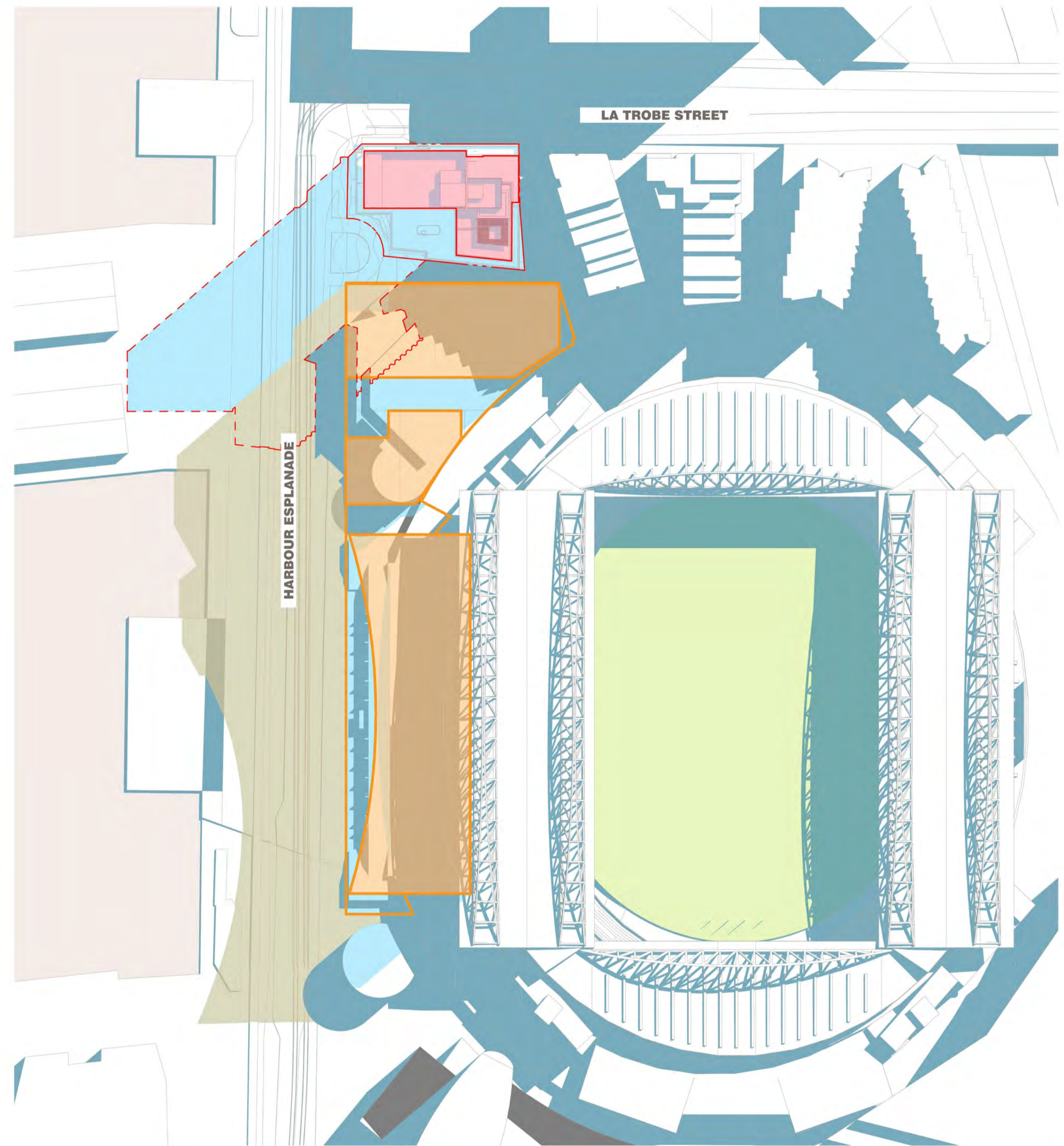
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**REV**  
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**DRAWING NO.**  
**TP404**



SHADOW ANALYSIS NOT INCLUDING HEP DEVELOPMENT | 22 SEPT 11:00AM  
1:1000



SHADOW ANALYSIS INCLUDING HEP DEVELOPMENT | 22 SEPT 11:00AM  
1:1000

→ SHADOW DIAGRAMS LEGEND

\*HEP - HARBOUR ESPLANADE PRECINCT

- SITE BOUNDARY
- EXISTING BUILDING SHADOWS
- PROPOSED SHADOWS ON PLAYING SURFACE
- PROPOSED SHADOWS EXCEEDING HEP'S SHADOWS
- APPROVED HEP ENVELOPE
- HEP ENVELOPE SHADOWS ON PLAYING SURFACE

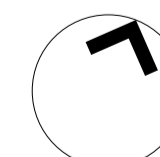
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REVISION		DATE	REVISION
-	TOWN PLANNING ISSUE	KT 20.10.2023	
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→ B	TOWN PLANNING SUBMISSION	KT 30.01.2025	

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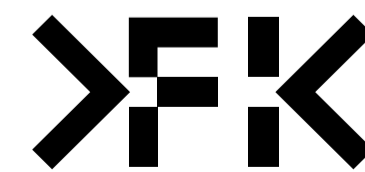
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**PROJECT**  
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 699 LATROBE ST  
 DOCKLANDS VICTORIA 3008

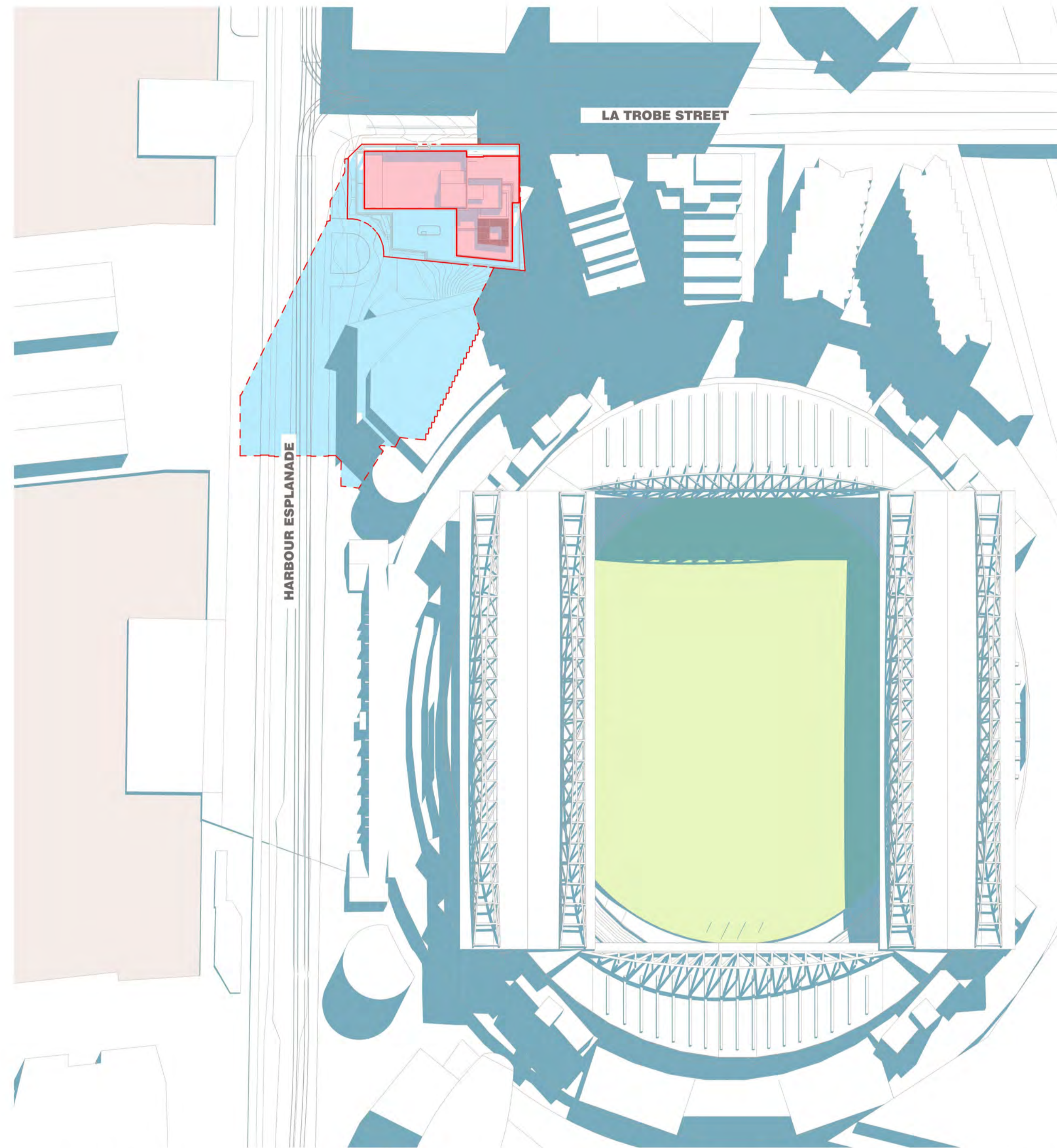
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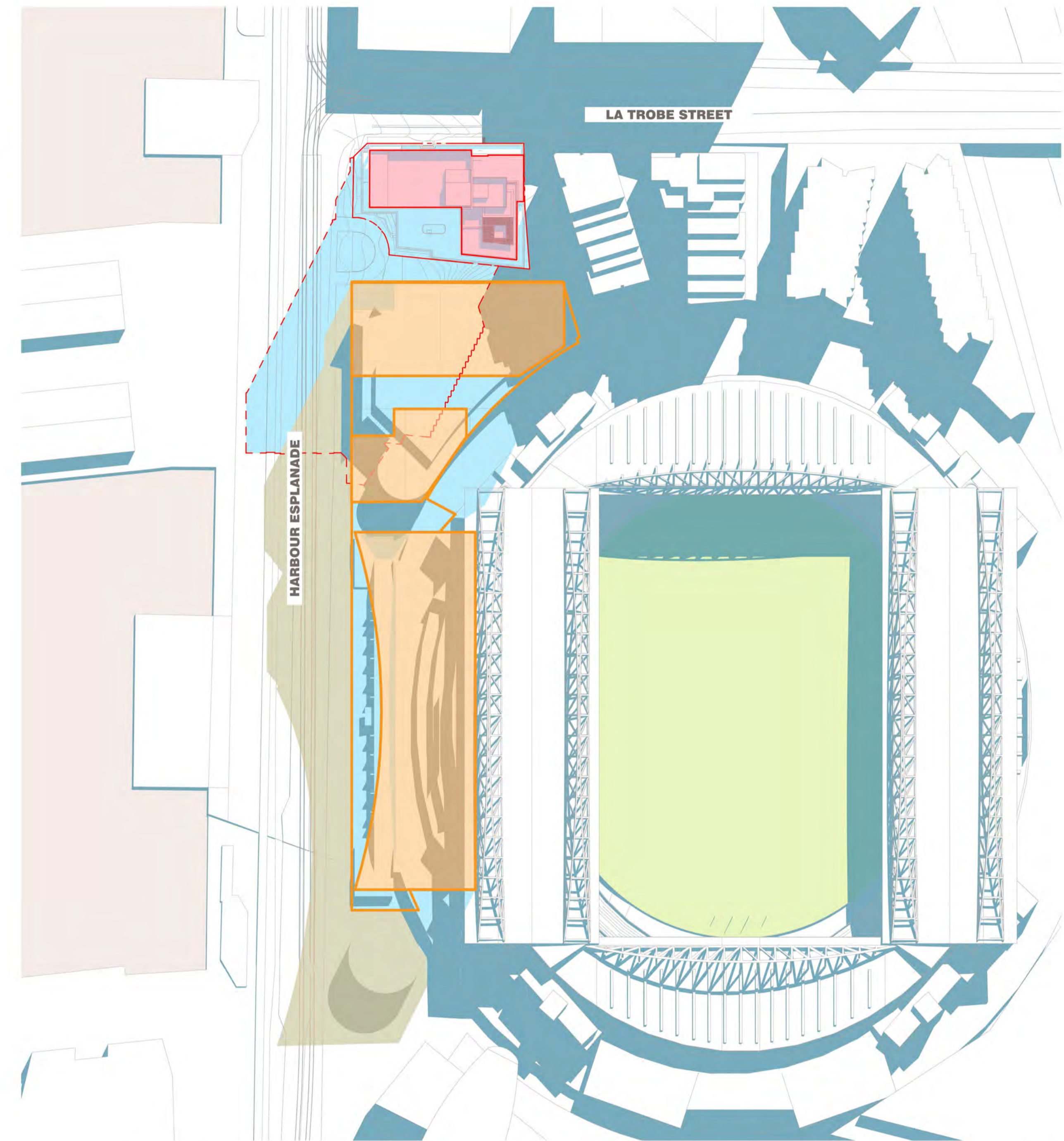
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**DRAWING NO.** TP405



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SHADOW ANALYSIS INCLUDING HEP DEVELOPMENT | 22 SEPT 12:00PM  
1:1000

→ SHADOW DIAGRAMS LEGEND

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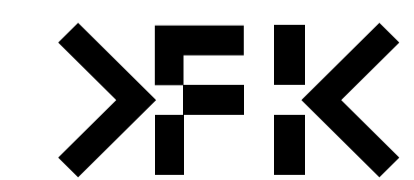
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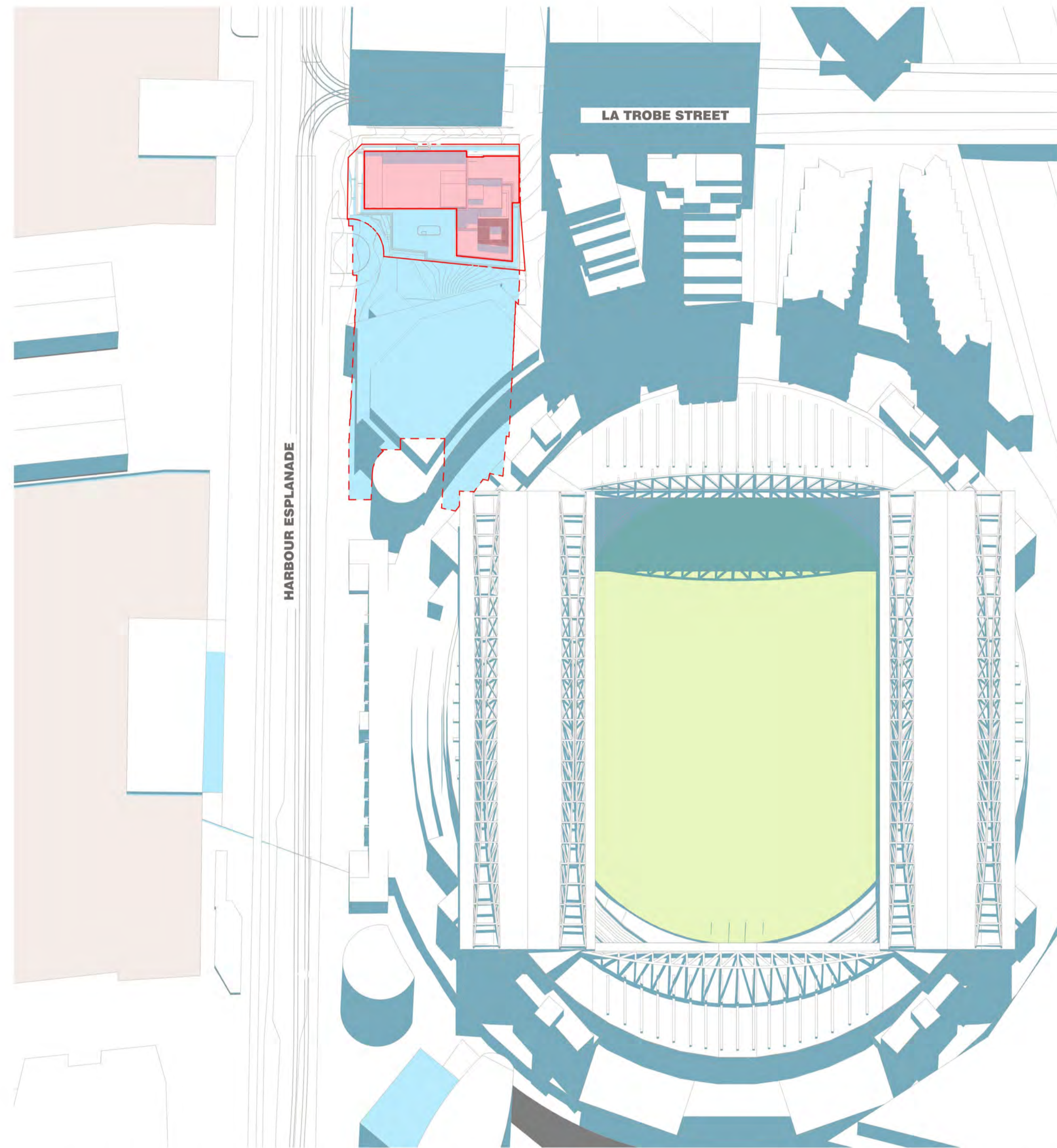
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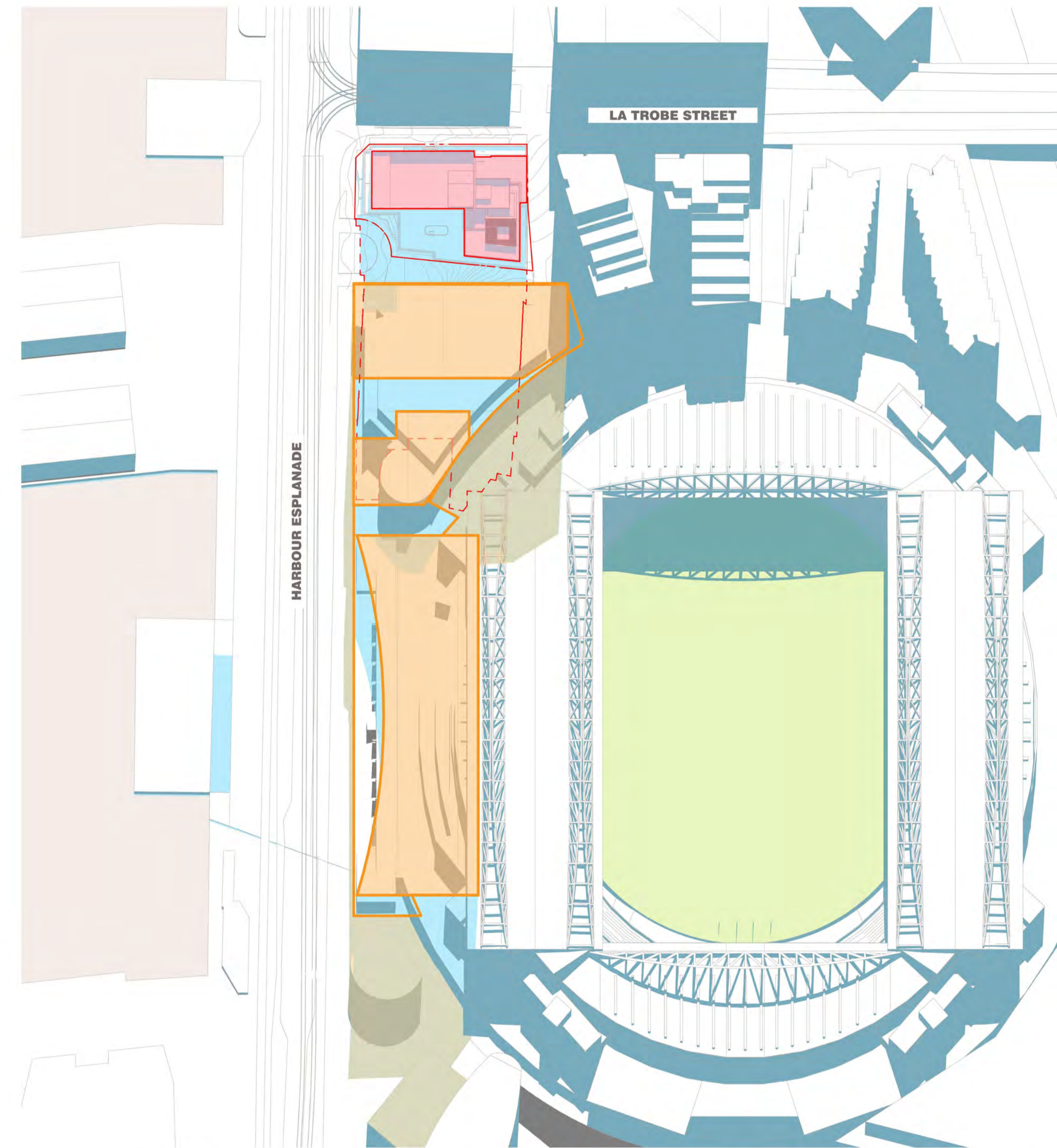
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→ SHADOW DIAGRAMS LEGEND

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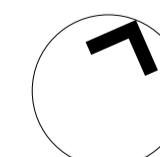
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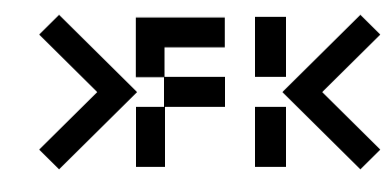
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**PROJECT**  
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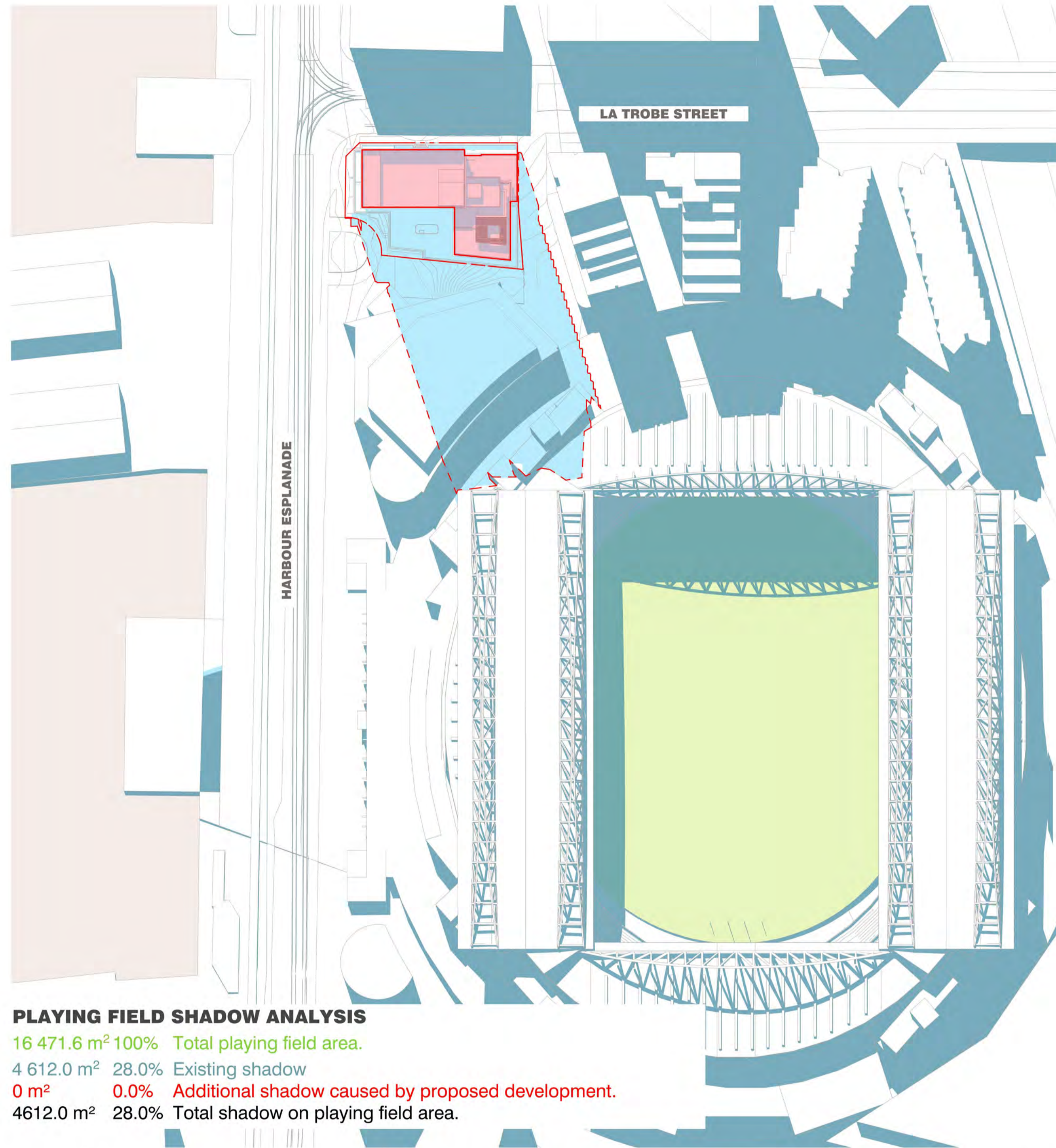
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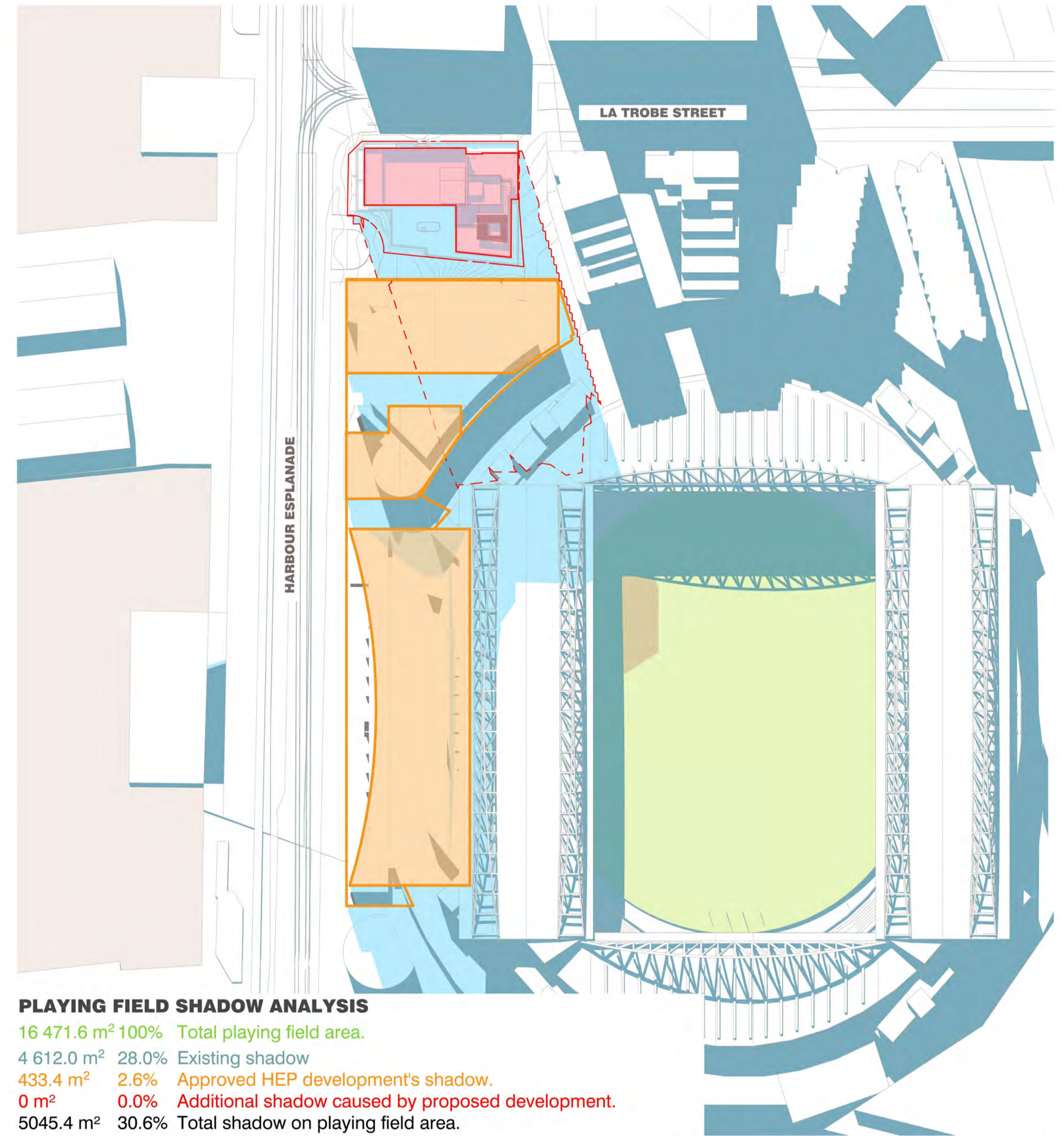
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→ **SHADOW DIAGRAMS LEGEND**

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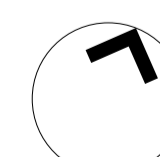
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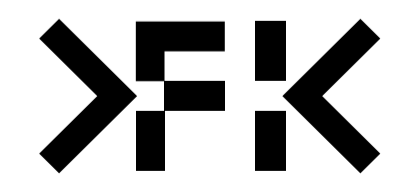
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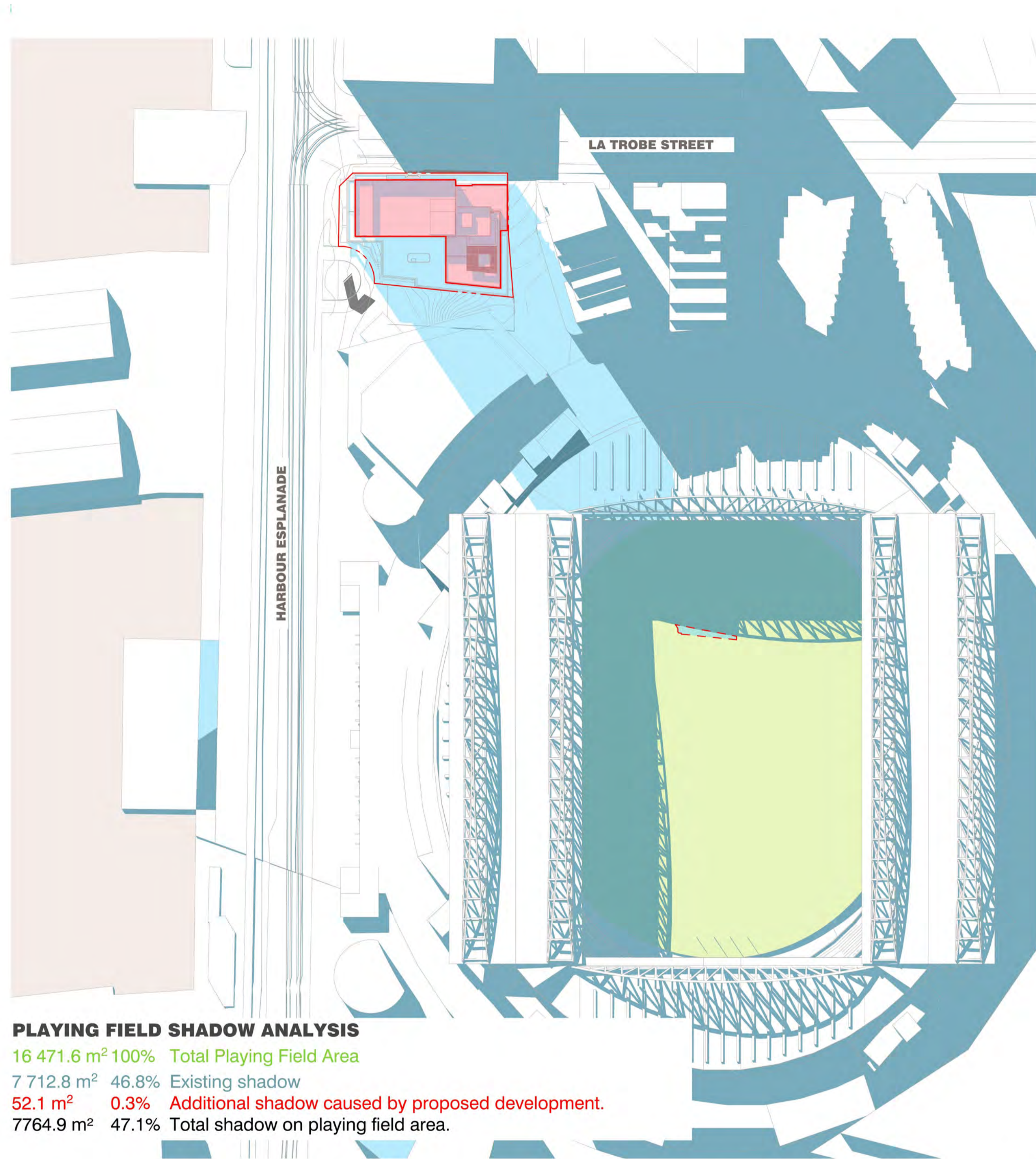
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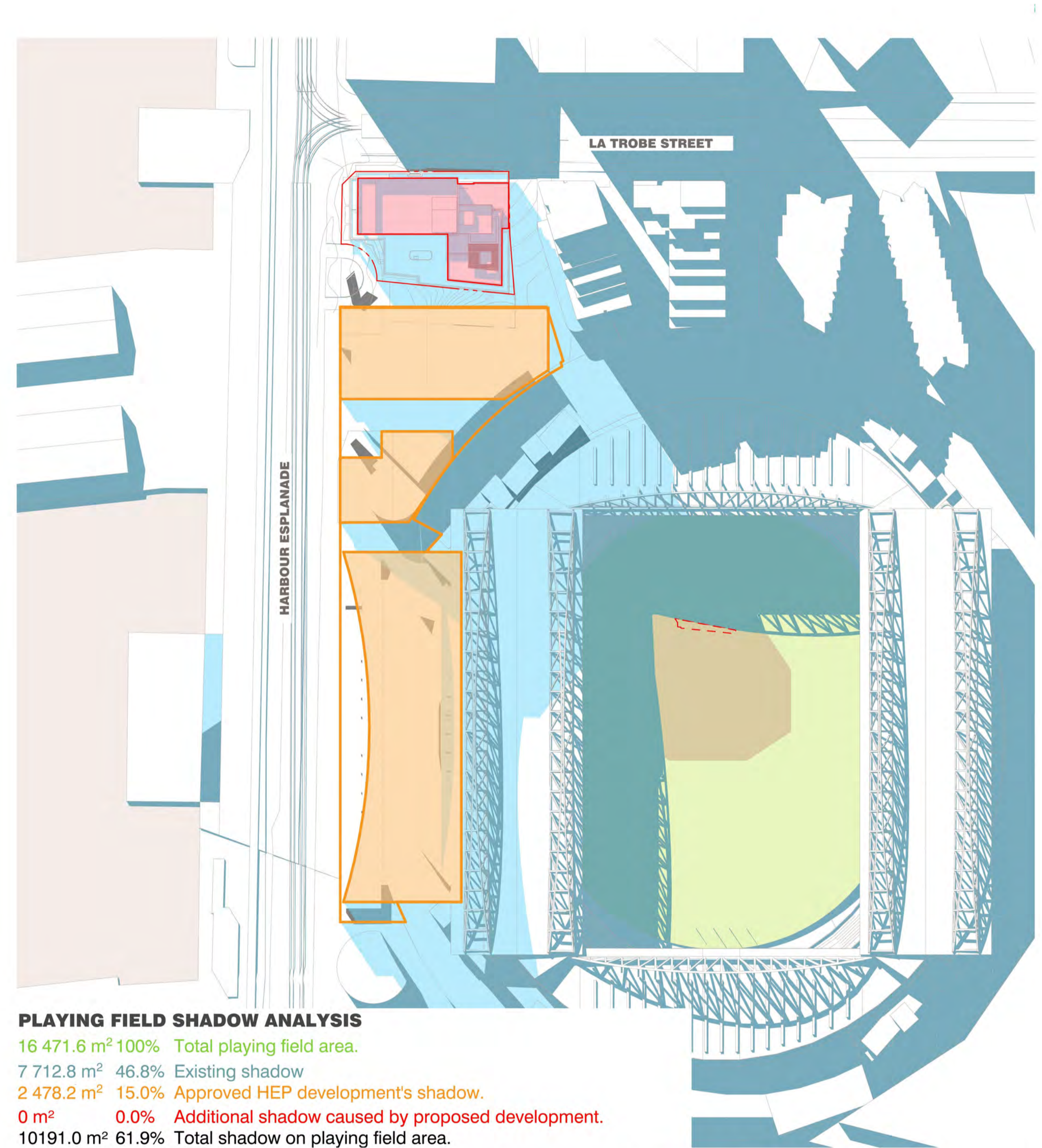
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**ISSUE PURPOSE**  
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**REV** B  
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SHADOW ANALYSIS INCLUDING HEP DEVELOPMENT | 22 SEPT 3:00PM  
 1:1000

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**ISSUE PURPOSE**  
 TOWN PLANNING

**REV B** **DRAWING NO. TP409**

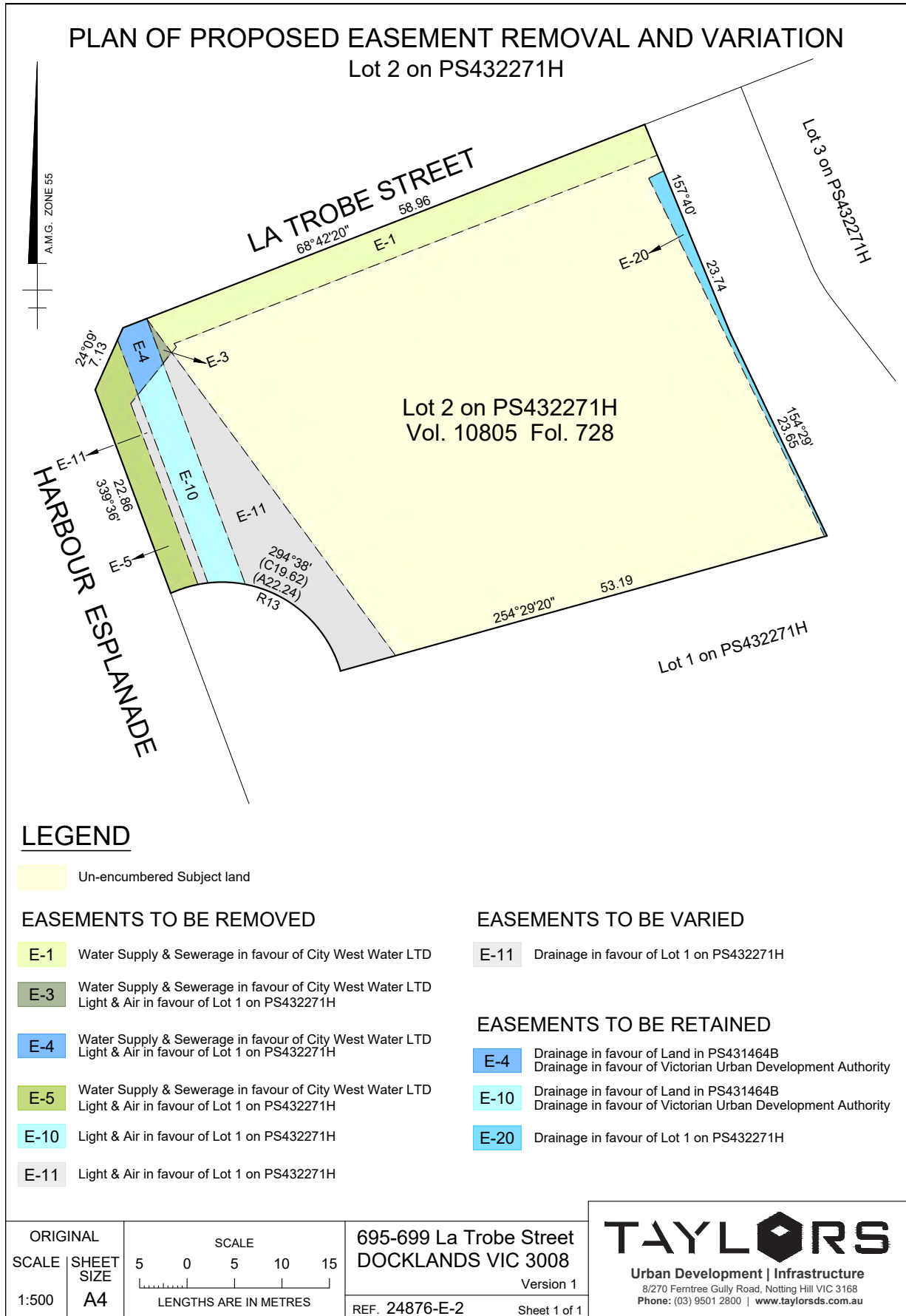


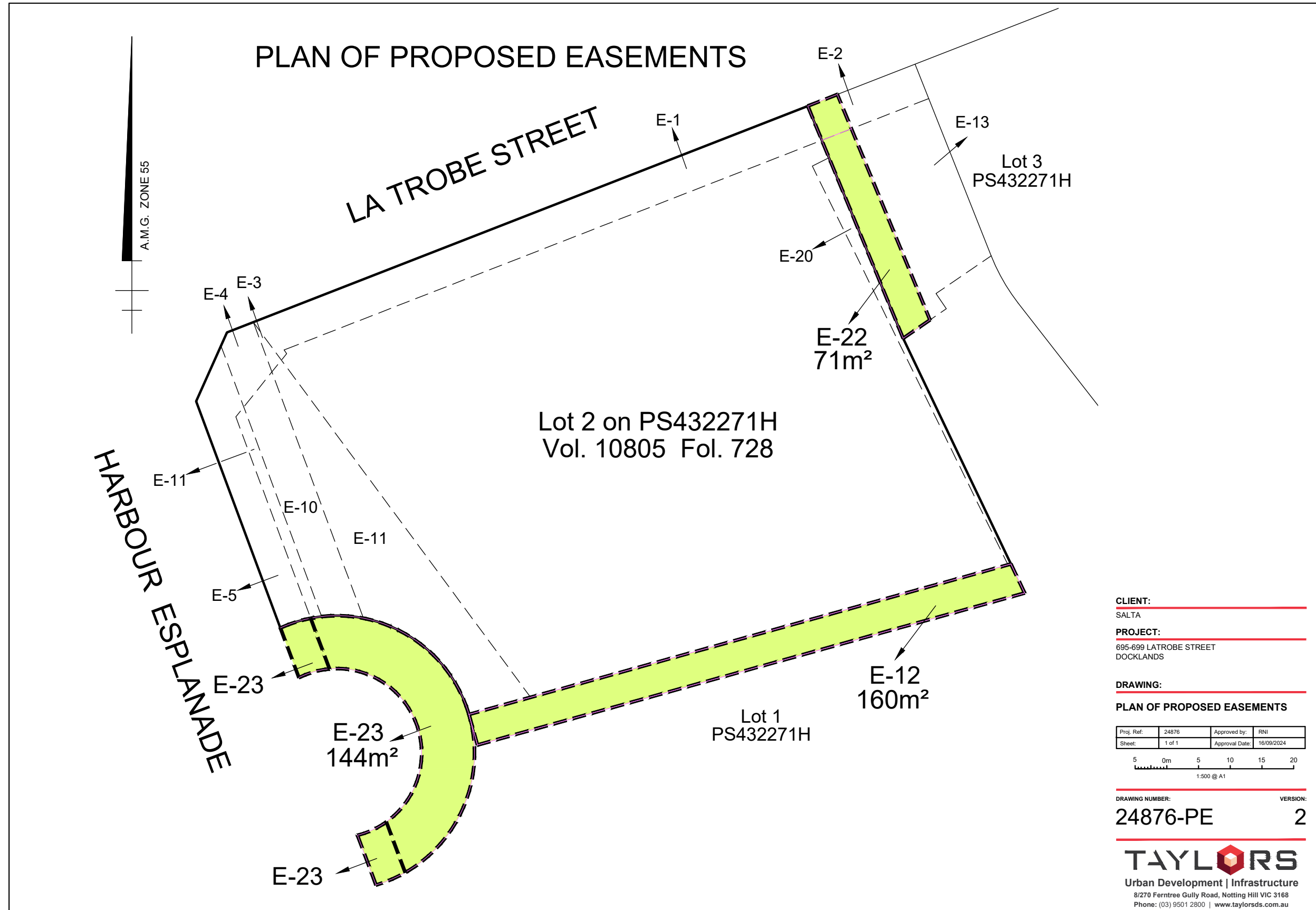
### PROPOSED AMENDMENT TO COVENANT – AD304197L

The Transferee with the intent that the benefit of these covenants attach to and run at law and in equity with lot 1 comprised in plan of subdivision 432271H being part of the land comprised in certificate of title volume 10494 folio 619 ("the Benefited Land") and that the burden of these covenants attached to and run at law and in equity with the land transferred by this transfer ("the Burdened Land") does for the transferee and the transferee's heirs executors, administrators and successors in title, covenant with the transferor and its successors in title being the registered proprietor or proprietors for the time being of the Benefited Land and every part of the Benefited Land that the transferee and the transferees, heirs, executors, administrators and successors in title must not:-

- (a) ~~Erect or allow to be erected on all or any part of the Burdened Land any building or structure which is of a height greater than RL 40.300 AHD (Reduced Level) (Australian Height Datum);~~
- (b)(a) \_\_\_\_\_ cause or allow a third party to cause any noise on all or any part of the Burdened Land that exceeds 50 decibels when measured anywhere within a building on the Benefited Land;
- (c)(b) \_\_\_\_\_ cause or allow a third party to cause any vibration on all or any part of the Burdened Land that exceeds the American Society of Heating and Air Conditioning Engineers ("ASHAE") curve for computer equipment (refer Schedule 6) when measured anywhere within a building on the Benefited Land;
- (d)(c) \_\_\_\_\_ erect or allow to be erected any signage on all or any part of the western boundary of the Burdened Land or on the western boundary of any building on the Burdened Land;
- (e) ~~erect or allow to be erected any building, structure or signage on that part of the Burdened Land designated as a Light and Air Easement on Plan of Subdivision 432271H and being the land marked E-3, E-4, E-5, E-10, E-11 and E-12 on Plan of Subdivision 432271H.~~

Proposed Amendment to Covenant





# PLANNING REPORT

**TPM-2025-10**

**695-699 LA TROBE STREET, DOCKLANDS  
USE AND DEVELOPMENT OF A MULTI-STOREY  
BUILDING COMPRISING OF DWELLINGS, VARY A  
RESTRICTION AND TO CREATE, VARY AND  
REMOVE EASEMENTS**



## **Acknowledgement of Traditional Owners**

The City of Melbourne respectfully acknowledges the Traditional Owners of the land we govern, the Wurundjeri Woi-wurrung and Bunurong Boon Wurrung peoples of the Eastern Kulin and pays respect to their Elders past, present and emerging.

We acknowledge and honour the unbroken spiritual, cultural and political connection the Wurundjeri, Bunurong, Dja Dja Wurrung, Taungurung and Wadawurrung peoples of the Eastern Kulin have to this unique place for more than 2000 generations.

We are committed to our reconciliation journey, because at its heart, reconciliation is about strengthening relationships between Aboriginal and non-Aboriginal peoples, for the benefit of all Victorians.

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## 1. Application Details

Melbourne City Council Application Number	TPM-2025-10
DTP Application Number	PA2503517
Address	695-699 La Trobe Street, Docklands Part 150-170 Harbour Esplanade, Docklands
Applicant	Salta Properties (Docklands) Pty Ltd c/o Urbis
Owner	Salta Properties (Docklands) Pty Ltd and Seven Custodians Pty Ltd
Architect	Fender Katsalidis
Proposal	Use and development of a multi-storey building comprising of dwellings, vary a restriction and to create, vary and remove easements
Cost of Works	\$257,000,000
Planning Controls	Docklands Zone Schedule 4 Design and Development Overlay – Schedule 12 Design and Development Overlay – Schedule 52 Development Plan Overlay – Schedule 5 Land Subject to Inundation Overlay – Schedule 3 Parking Overlay – Schedule 8
Permit Requirements	Use and development of land north of the Major Sports and Recreation Facility for dwellings – Docklands Zone Schedule 4 Construct a building or carry out works – Design and Development Overlay Schedules 12 and 52 Construct a building or carry out works – Land Subject to Inundation Overlay Schedule 3
Consultation	Public notification is the responsibility of the Minister for Planning (Department for Transport and Planning)
Easements / Covenants / Section 173 Agreements	The subject site includes the following: <ul style="list-style-type: none"> <li>• 12 easements relating to carriageway, under and above ground utilities, sewerage, drainage, light and air.</li> <li>• Section 173 Agreements AD030407C and AG594741P</li> <li>• Section 24 Docklands Authority Agreement AH197569E</li> <li>• Section 162 Building Agreement W944159H</li> <li>• Covenant AD304197L</li> </ul>
Reason for FMC Referral	The development relates to a Ministerial Application with a gross floor area exceeding 25,000 square metres. Therefore, the application is required to be referred to a Future Melbourne Committee in accordance with Section 2.4.2 of Melbourne City Council's Delegation Policy for Planning Applications

Recommendation	No objection subject to conditions
Planning Officer	Xavier Livy

## 2. Executive Summary

- The planning application proposes the use and development of a multi-storey building comprising 560 dwellings with a maximum building height of 130.9 metres (excluding building services).
- The key matters for consideration are the appropriateness of the accommodation (dwelling) use in the Docklands Zone (Schedule 4 – Stadium Precinct), the built form having regard to the Design and Development Overlay (DDO52 – Stadium Precinct) and compliance with Clause 58 (Apartment Developments). In addition, the proposal also seeks to vary a restriction and to create, vary and remove easements on title to facilitate the requirements of the development.
- The provision of dwellings aligns with strategic policy and the purpose of the Docklands Zone as it supports the mixed nature of the Stadium Precinct and Docklands area more broadly.
- Whilst the built form is tall in scale, it is contextually appropriate as it is located on a corner landmark site and achieves an appropriate transition in height in both the existing and emerging context of Harbour Esplanade. However, there remains an outstanding concern which relates to the overshadowing impact associated with the development on the public realm along Harbour Esplanade.
- Whilst not mandatory or required by the Melbourne Planning Scheme, the proposal includes a voluntary affordable housing contribution of 4.6%.
- Subject to the inclusion of conditions, it is recommended that the Department for Transport and Planning be advised that Melbourne City Council does not object to the proposal.

## 3. Subject Site and Surrounds

### 3.1. Site

This planning permit application (**Application**) relates to the land at 695-699 La Trobe, Docklands and 150-170 Harbour Esplanade, Docklands. The subject site (**Site**) is located at the corner of Harbour Esplanade and La Trobe Street.

The Site is formally identified as:

- 695-699 La Trobe Street, Docklands, described in Certificate of Title Volume 10494 Folio 619 and contained within Lot 2 on Plan of Subdivision 432271H.
- A portion of the land known as 150-170 Harbour Esplanade, Docklands, described in Certificate of Title Volume 10805 Folio 727 and contained within Lot 1 of Plan of Subdivision 432271H.

The Site is irregular in shape with an approximate area of 2,692 square metres and is void of any built form. It borders Stadium Access Road (a private road) on its eastern edge, which provides access to Docklands Stadium and the Channel 7 building.



Figure 1 – Subject Site: 695-699 La Trobe Street, Docklands (yellow), 150-170 Harbour Esplanade, Docklands (red) and the area associated with the Application (Planning Unit in red dotted outline) (source: CoMPASS dated 22 March 2025)

Inspections of the site and surrounding area were undertaken, including the below site photography undertaken on 14 May 2025.



Figure 2 – Subject Site: 695-699 La Trobe Street, Docklands on La Trobe Street (left) and Harbour Esplanade (right) (source: CoM site inspections photos taken on 14 March 2025)

### 3.2. Surrounds

The surrounds are characterised by a range of approved and completed buildings of varying styles and heights. The immediately adjoining sites are described as follows:

- To the east is a recently completed development comprising of two towers with a ranging from 28 to 29 storeys at 685-691 La Trobe Street, with a building height of approximately 101 metres. Further to the north east there are two mixed-use towers known as Lacrosse Docklands at 673-683 La Trobe Street.
- To the north, across La Trobe Street are existing office buildings at 1010 La Trobe Street, Docklands and 1000 La Trobe Street Docklands ranging from 37 to 92 metres.

- To the south-east is Docklands Stadium and associated raised pedestrian concourse and car parking under. The south and east of the Docklands Stadium include recent development extensions to the associated concourse area.
- To the south is the existing Channel 7 building at 150-170 Harbour Esplanade, Docklands which was recently vacated in May 2025. The Channel 7 building and land at 140 Harbour Esplanade includes an approval under Planning Scheme Amendment C438 'Harbour Esplanade Precinct – 140-160 Harbour Esplanade, Docklands' ('Amendment C438') for three tower envelopes ranging from 90 to 129 metres.
- Further to the south is Victoria Point, which comprises three key buildings at 106-120 Harbour Esplanade known as Bendigo Bank, 100-108 Harbour Esplanade known as Victoria Point Tower and 744-770 Bourke Street known as Quest.



Figure 3 – Vehicle service lane to the east of the Subject Site (left) and the existing pedestrian access along the southern interface between the subject site and the Channel 7 building (right) 695-699 (source: CoM site inspections photos taken on 14 March 2025)



Figure 4 – Views along Harbour Esplanade to the south (left) and north (right) which show the road reserve, bicycle path, old tram tracks and the western footpath directly adjacent to Victoria Harbour (source: CoM site inspections photos taken on 14 March 2025)

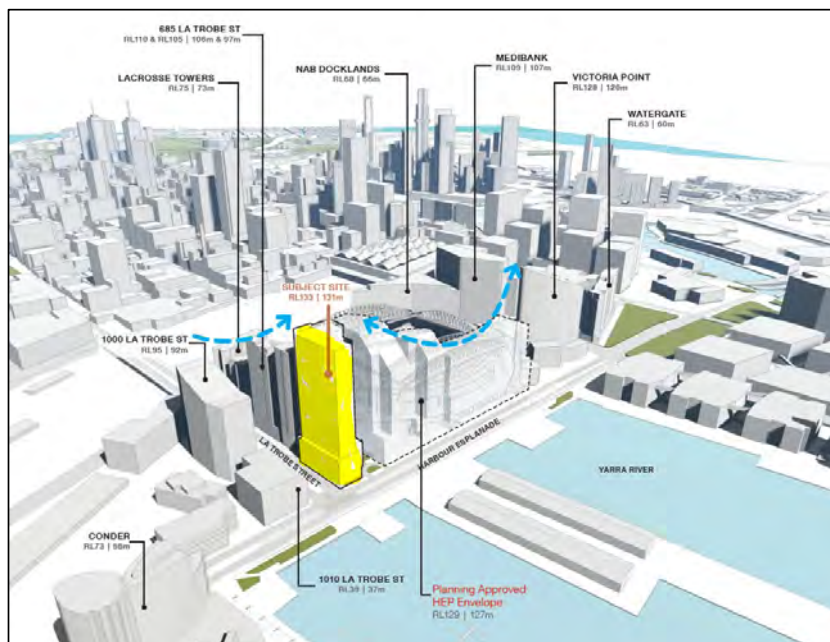


Figure 5 – Existing and proposed built form context (source: applicant)

### 3.3. Certificate of Title

The submitted certificates of title indicate that the Site is burdened by a series of water, sewerage, electricity and drainage easements. The Site is burdened by number of agreements under Section 173 the *Planning and Environment Act 1987*, Section 24(2) of the *Docklands Authority Act 1991* and Section 162 of the *Building Act 1993*. The Site is burdened by Covenant 4D304197L which is sought to be varied as a part of the Application. Details of the agreements / restrictions are outlined as follows:

- **Agreement Section 162 Building Act 1993 W944159H on Lot 1 and Lot 2** which relates to construction work on the Docklands Stadium and adjoining car park.
- **Agreement Section 24(2) Docklands Authority Act 1991 AH197569E on Lot 2** which relates to the owner of the land acting in accordance with the Development Agreement. This is an agreement entered into with the owner and Vic Urban (now Development Victoria).
- **Agreement Section 173 AD030381T on Lot 1** which relates to the provision of a 'Stadium Link'. The Stadium Link is defined as a pathway not less than 3 metres wide to Harbour Esplanade between 695 La Trobe Street, Docklands and the Channel 7 building. It is worth noting that Amendment C438 permits the removal of this agreement in lieu of the proposed access points to Harbour Esplanade contained within the Harbour Esplanade Precinct Master Plan.
- **Agreement Section 173 Planning and Environment Act 1987 AG594741P on Lot 2** which relates to the remediation of the land and outlines the relevant responsibilities should remediation be required on the land.
- **Agreement Section 173 Planning and Environment Act 1987 AD030407C on Lot 2** which relates to the construction and ongoing maintenance of a 2.1 metre wide footpath (yet to be constructed) along the eastern boundary.
- **Covenant 4D304197L on Lot 2** which relates to restrictions on Lot 2 in relation to the location and height of buildings and structures, allowable signage and noise levels. Lot 1 is a beneficiary of this Covenant.



Figure 6 – Subject Site: 695-699 La Trobe Street, Docklands (Lot 2 in blue), 150-170 Harbour Esplanade, Docklands (Lot 1 in green) and the area associated with the Application (Planning Unit in red dotted outline) (source: plan of subdivision provided by the applicant)

### 3.4. Aboriginal Cultural Heritage

This site is on the traditional lands of the Wurundjeri Woi-wurrung.

The site is not located in an area of legislated Cultural Heritage Sensitivity.

## 4. Background

### 4.1. Pre-application discussions (PAM-2023-314)

Two pre-application meetings were facilitated by the Department for Transport and Planning on 2 August 2023 and 13 September 2023, with attendance by the permit applicant and Council officers.

The pre-application discussions largely focused on the proposed height, massing, overshadowing impacts and the ground floor / public realm interfaces.

Since the pre-application discussions, amendments were made to the tower massing with greater ‘stepping down’ of the secondary tower element, changes to the ground level in response to Melbourne Water requirements and the voluntary inclusion of affordable housing. It is also important to note that since the pre application meetings the strategic context of the area has changed with the approval of Amendment C438 on the 15 August 2024.

### 4.2. Relevant planning permit history

Several planning permits have been issued around the Site and Stadium Precinct. Of note are the following:

TP number	Description of Proposal	Decision & Date of Decision	Status
Subject Site TPD-2010-9/B (DTP reference 2010006254B)	Buildings and works associated with the construction of mixed use building	Amended Permit 19 March 2019	Expired

695-699 La Trobe Street, Docklands			
TPM-2016-5/B DTP Reference PA1500055-2 685-691 La Trobe Street, Docklands	Development of the land for the construction of two multi-storey buildings, the use of land for dwellings and shops (excluding adult sex bookshop, department store, a supermarket exceeding 2,500 square metres of GFA and restricted retail premises).	Amended Permit 13 October 2021	Complete
TPD-2013-3 (DTP reference 2013/000861) 1000 La Trobe Street, Docklands	Multi storey commercial office building with associated ground floor office and retail and multi-storey car parking	Permit 7 June 2013	Complete
TP-2014-1072 Harbour Esplanade	Buildings and works associated with the Harbour Esplanade Master Plan prepared by Places Victoria (Development Victoria).	Permit 2 June 2015	Expired
TP-2017-221 Central Pier (part)	Partial demolition of a section of wharf and buildings and works to construct safety break to dilapidated section of pier	Permit 4 May 2017	Complete
TP-2023-778 Central Pier and shed nine and fourteen	Demolition of the pier, including sheds nine and fourteen	Permit 24 November 2023	Demolition commenced
TP-2020-747/A Marvel Stadium, 122-148 Harbour Esplanade, Docklands	Partial demolition, carry out works, erection of signage associated with the upgrades to the City Edge and Town Square associated with Marvel Stadium.	Amended Permit 27 June 2023	Complete
ID-2024-2 C438melb 140-160 Harbour	Planning Scheme Amendment C438melb which facilitates the redevelopment of the western edge of the Stadium Precinct in Docklands via an Incorporated	Gazetted 15 August 2024	Not commenced

Esplanade, Docklands	Document and application of a Specific Controls Overlay
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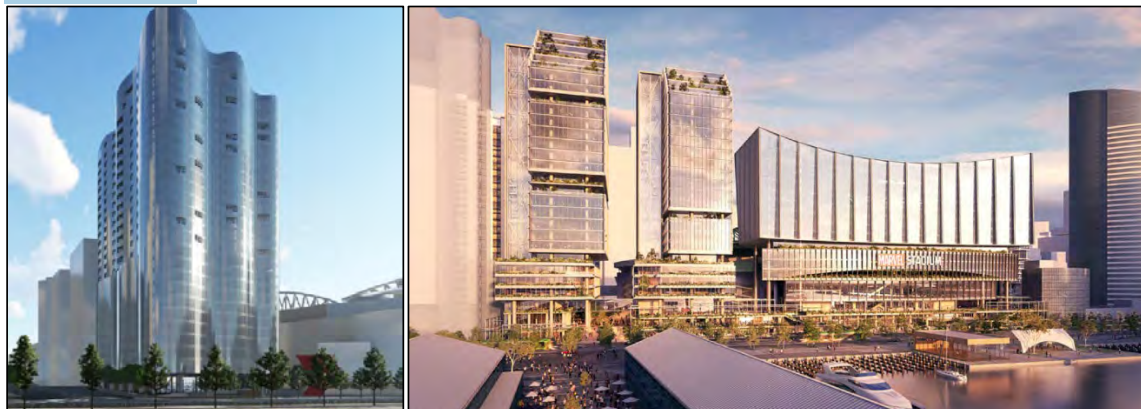


Figure 7: Expired development with an overall height of 92.2 metres on the Site (left) and the approved envelopes associated with Amendment C438melb (right) (source: applicant's submission)

### 4.3. Amendments to the application

A Section 50 amendment (amendment prior to public notice) was submitted to the Minister for Planning on 23 May 2025. The amended application included a portion of the land at 150-170 Harbour Esplanade, Docklands into the 'planning unit' for access and easements requirements. The architectural plans and supporting documents were also updated accordingly.

## 5. Proposal

### 5.1 Proposal Summary

The Application seeks approval for a 38 storey building comprising of 560 dwellings located on the corner of Harbour Esplanade and La Trobe Street.

Details of the proposal can be summarised, as per Table 1, as follows:

Table 1: Proposal Summary	
Gross Floor Area (GFA)	60,079 m <sup>2</sup>
Building Height	38 storeys / 130.9 metres (excluding building services)
Street Wall Heights	<p><b>North (La Trobe Street)</b></p> <ul style="list-style-type: none"> <li>• 7 storeys / 27 metres</li> </ul> <p><b>West (Harbour Esplanade)</b></p> <ul style="list-style-type: none"> <li>• 7 storeys / 25.4 metres</li> </ul>

**Table 1: Proposal Summary**

Tower Setbacks	<p><b>North (La Trobe Street)</b></p> <ul style="list-style-type: none"> <li>Setback to La Trobe Street ranging from 2.6 to 4.4 metres</li> </ul> <p><b>West (Harbour Esplanade)</b></p> <ul style="list-style-type: none"> <li>Setback to Harbour Esplanade of 6 metres</li> </ul> <p><b>East</b></p> <ul style="list-style-type: none"> <li>Setback to 685-691 La Trobe Street ranging from 10.8 to 24.4 metres</li> </ul> <p><b>South</b></p> <ul style="list-style-type: none"> <li>Setback to 150-170 Harbour Esplanade, Docklands (Channel 7) ranging from 8.7 to 26.5 metres</li> </ul>
Dwellings	<p>A total of 560 dwellings are proposed comprising:</p> <ul style="list-style-type: none"> <li>Studio: 126 dwellings (23%)</li> <li>One-bedroom: 183 dwellings (33%)</li> <li>Two-bedroom: 219 dwellings (39%)</li> <li>Three-bedroom: 32 dwellings (6%)</li> </ul>
Communal Areas	<p>Internal area: 2,494 m<sup>2</sup>  External area: 1,319 m<sup>2</sup>  Total communal areas: 3,813 m<sup>2</sup></p>
Affordable Housing Contribution	4.6% (26 dwelling contribution)
Waste	Residential waste – Council collection
Materials	Use of masonry and concrete for the podium, with lighter weight aluminium elements and glazing in the tower form.
Car Parking	114 spaces located in the south eastern corner of the podium
Bicycle Parking	435 spaces (364 resident parking and 71 for visitor parking)
Vehicle Access and Loading	Loading / unloading and waste collection accessed via La Trobe Street onto Lot 1

The Application also seeks permission to vary a restriction (Covenant AD304197L) and remove, vary and create easements on title. The Application seeks this permission under Clause 52.02 of the Melbourne Planning Scheme to accommodate the proposed development on the land.

Elevations and renders of the proposal are provided below:



Figure 8 - Western elevation (source: applicant)



Figure 9 – North west elevation (source: applicant)



Figure 10 – Ground level Harbour Esplanade interface (source: applicant)

### 5.2 Documents considered in assessment

The application documents which have been considered in this assessment are identified in Table 2 below:

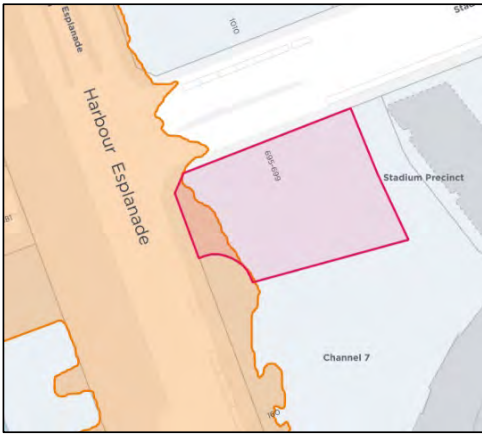
Table 2: Documents Considered in Assessment		
Document	Author	Date
Town Planning Report	Urbis	May 2025
Architectural Plans and Renders	Fender Katsalidis	May 2025
Urban Context Report	Fender Katsalidis	August 2024
Tower Separation Study	Fender Katsalidis	May 2025
Future Adaptability Study	Fender Katsalidis	July 2025
Landscape Concept	Oculus	August 2024
Traffic Impact Assessment	MCG Consultants	December 2023
Waste Management Plan	WSP	May 2025
Wind Assessment Report	MEL Consultants	October 2023/ August 2024
Creation and Removal of Easement Plan	Veris	September 2024
Varied Covenant Plan	Urbis	May 2025
Sustainability Management Plan	Arup	August 2024
Stormwater Management Report	MCG Consultants	October 2023
Acoustic Report	Acoustic Logic	August 2024

## 6. Planning Policies and Controls

The following provisions of the Melbourne Planning Scheme are most relevant to the application.

Sections	Policies
<b>Municipal Planning Strategy</b>	<ul style="list-style-type: none"> <li>• Clause 2.02: Vision</li> <li>• Clause 2.03: Strategic Directions</li> <li>• Clause 2.04: Strategic Framework Plans</li> </ul>
<b>Planning Policy Framework</b>	<ul style="list-style-type: none"> <li>• Clause 11: Settlement                             <ul style="list-style-type: none"> <li>○ Clause 11.02: Managing Growth</li> <li>○ Clause 11.03: Planning for Places                                     <ul style="list-style-type: none"> <li>▪ Clause 11.03-6L-03: Docklands</li> </ul> </li> </ul> </li> <li>• Clause 13: Environmental Risks and Amenity                             <ul style="list-style-type: none"> <li>○ Clause 13.03: Floodplains</li> <li>○ Clause 13.04: Soil Degradation</li> <li>○ Clause 13.05: Noise</li> <li>○ Clause 13.06: Air Quality</li> <li>○ Clause 13.07: Amenity, Human Health and Safety</li> </ul> </li> <li>• Clause 15: Built Environment and Heritage                             <ul style="list-style-type: none"> <li>○ Clause 15.01: Built Environment                                     <ul style="list-style-type: none"> <li>○ Clause 15.01-1L-04 – Urban Design</li> <li>○ Clause 15.01-1S – Urban Design</li> <li>○ Clause 15.01-1R – Urban Design – Metropolitan Melbourne</li> <li>○ Clause 15.01-2S – Building Design</li> <li>○ Clause 15.01-2L-01: Energy and resource efficiency</li> <li>○ Clause 15.01-5S – Neighbourhood Character</li> </ul> </li> <li>○ Clause 15.02 Sustainable Development</li> </ul> </li> <li>• Clause 16: Housing                             <ul style="list-style-type: none"> <li>○ Clause 16.01: Residential Development</li> </ul> </li> <li>• Clause 17: Economic Development                             <ul style="list-style-type: none"> <li>○ Clause 17.01: Employment</li> <li>○ Clause 17.02: Commercial</li> </ul> </li> <li>• Clause 18: Transport                             <ul style="list-style-type: none"> <li>○ Clause 18.01: Land Use and Transport</li> <li>○ Clause 18.02: Movement Networks</li> </ul> </li> <li>• Clause 19: Infrastructure</li> </ul>

Sections	Policies
	<ul style="list-style-type: none"> <li>○ Clause 19.02: Community Infrastructure</li> <li>○ Clause 19.03: Development Infrastructure</li> <li>○ Clause 19.03-3L: Stormwater management (Water sensitive urban design)</li> </ul>
<p><b>Docklands Zone, Schedule 4 (Stadium Precinct)</b></p>	<p><b>Use and Development – Permit Required</b></p> <p><u>Use</u> Pursuant to Clause 37.05-1 and 1.0 of DZ4, a planning permit is required to use the land for dwellings as the land is located north of the Major Sports and Recreation Facility.</p> <p><u>Development</u> Pursuant to Clause 37.05-4 and 4.0 of DZ4, a permit is required to construct a building or construct or carry out works.</p>
<p><b>Design and Development Overlay – Schedule 12 (Noise Attenuation Area)</b></p>	<p><b>Buildings and Works – Permit Required</b></p> <p>Pursuant to Clause 43.02-2, a permit is required to construct a building or construct or carry out works.</p> <p>2.0, Requirements, of Schedule 12 states that any ‘new or refurbished development or any conversion of part or all of an existing building that will accommodate new residential or other noise-sensitive uses must:</p> <ul style="list-style-type: none"> <li>• Be designed and constructed to include noise attenuation measures. These measures must achieve a maximum noise level of 45 dB in habitable rooms with windows closed when music is emitted from the Major Sports and Recreation Facility in the Melbourne Docklands Area.</li> <li>• Be fitted with ducted air conditioning if the new or refurbished development is within 400 metres of the centre point of the Docklands Major Sports and Recreation Facility.</li> </ul>
<p><b>Design and Development Overlay – Schedule 52 (Area 1) (Stadium Precinct)</b></p>	<p><b>Buildings and Works – Permit Required</b></p> <p>Pursuant to Clause 43.02-2, a permit is required to construct a building or construct or carry out works.</p> <p>2.0, Requirements, of Schedule 52 states that a ‘permit is not required to construct a building or construct or carry out works if the requirements of Table 1 to this schedule are met’.</p> <ul style="list-style-type: none"> <li>• Table 1 specifies a maximum building height of 25 metres except for two towers not exceeding 75 metres for Area 1.</li> </ul> <p>The maximum building heights are not met.</p>
<p><b>Development Plan Overlay – Schedule 5 (DPO5) (Stadium Precinct)</b></p>	<p>Pursuant to Clause 43.04-1, a permit ‘must not be granted to use or subdivide land, construct a building or construct or carry out works until a development plan has been prepared to the</p>

Sections	Policies
	<p>satisfaction of the responsible authority'. In addition, a permit granted must:</p> <ul style="list-style-type: none"> <li>• 'Be generally in accordance with the development plan.</li> <li>• Include any conditions or requirements specified in a schedule to this overlay'</li> </ul> <p>An approved development plan is not in place.</p> <p>According to 1.0 of DPO5, a 'permit may be granted to use or subdivide land, construct a building or construct or carry out works before a development plan has been prepared to the satisfaction of the responsible authority'.</p>
<b>Land Subject to Inundation – Schedule 3</b>	<p><b>Buildings and Works – Permit Required</b></p> <p>Pursuant to Clause 44.04-2, a permit is required to construct a building or construct or carry out works.</p> <p>The Site is partially impacted by the Land Subject to Inundation Overlay, therefore a planning permit is required under this overlay.</p> <div style="text-align: center;">  </div> <p><i>Figure 11 – LSIO3 impact to the western edge of the Site (source: Compass)</i></p>
<b>Parking Overlay – Schedule 8 (PO8) (Docklands – Stadium Precinct)</b>	<p><b>No Permit Required</b></p> <p>Pursuant to Clause 52.06-2, 'before a new use commences, the number of car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay must be provided to the satisfaction of the responsible authority'.</p> <p>2.0, Permit requirements of PO8 states that a permit is required to provide car parking spaces in excess of the maximum number specified in the Table.</p> <p>3.0, Number of car spaces required, of PO8 includes a rate of 1.5 spaces per dwelling.</p> <p>The proposal includes 114 car parking spaces for 560 dwellings, as such a permit is not required.</p>

Sections	Policies
<b>Particular Provision – Clause 52.02</b>	<p><b>No Permit Required</b></p> <p>Pursuant to Clause 52.02, a permit is required before a person proceeds under Section 23 of the Subdivision Act 1988 to create, vary or remove an easement or restriction.</p> <p>The application seeks to vary a restriction (Covenant AD304197L) and to create, vary and remove easements, as such a permit is required.</p>
<b>Particular Provision – Clause 52.34</b>	<p><b>No Permit Required</b></p> <p>Pursuant to Clause 52.34-1, a new use must not commence, or the floor area of an existing use must not be increased until the required bicycle facilities and associated signage have been provided on the land. Where the floor area occupied by an existing use is increased, the requirement for bicycle facilities only applies to the increased floor area of the use.</p> <p>Pursuant to Clause 52.34 (Bicycle Facilities), the proposal would need to provide a total 169 (113 resident parking and 56 visitor parking).</p> <p>A total 435 (364 resident parking and 71 for visitor parking) bicycle spaces are proposed along with end of trip facilities, as such a permit is not required.</p>
<b>General Provision</b>	Clause 65, which includes the matters set out in section 60 of the <i>Planning and Environment Act 1987</i> .
<b>Operation Provision</b>	Pursuant to the Schedule to Clause 72.01-2, the Minister for Planning is the responsible authority for this planning permit application as the total floor area of the development exceeds 25,000 square metres.

## 6.1. Relevant Planning Scheme Amendments

### 6.1.1 Amendment C376 (Sustainable Building Design)

Planning Scheme Amendment C376 aims to introduce new best-practice ESD Standards into the Melbourne Planning Scheme to ensure that new buildings respond to climate change. Amendment C376 also implements the Green Factor tool, which is an online green infrastructure assessment tool designed by the City of Melbourne to optimise the design of green infrastructure and external landscapes on buildings.

Amendment C376 was adopted by Council at its meeting of 29 July 2025 for submission to the Minister for Planning for approval.

Amendment C376 has been addressed in the environmentally sustainable design statements, as discussed further in this report.

### 6.1.2 Amendment VC250 (Residential Reticulated Gas Service Connection)

Amendment VC250 was gazetted on 1 January 2024 and updated Clauses 15.01-2S and Clause 15.01-3S by providing consistent state level policy with the prohibition of new gas connections, amending Clause 52.20, Clause 53.20, Clause 55.02, Clause 56.09 and Clause 58.02 to remove the optional requirement for a gas connection, amending Clause 65.02 to ensure the provision of gas is not assessed when it is prohibited and introducing Clause 53.03 - Residential Reticulated Gas Service Connection with the purpose of prohibiting residential reticulated gas connections to new dwellings, new apartment developments and new residential subdivisions.

## 6.2. Other relevant documents, strategies and plans

### 6.2.1 Revitalising Central Pier Waterfront - Place Principles and Vision Strategy

Development Victoria undertook community engagement in December 2022 on a future vision for Central Pier. Following Consultation, Development Victoria released the *Revitalising Central Pier Waterfront – Vision and Place Principle* documented dated 5 August 2024. It is a strategic document which establishes the vision for the future revitalisation of the pier based of the following key place principles:

- Reflect
- Flourish
- Celebrate
- Play
- Connect

The document does not provide any specific details on future plans or built form outcomes for Harbour Esplanade, Central Pier or the waterfront; however, it anticipates the area to be one of high amenity.



Figure 12 – Focus areas associated with the Vision and Place Principle document (source: Revitalising Central Pier Waterfront – Vision and Place Principle, August 2024)

## 7. Public Notice and Objections

### 7.1. Public notice

The Minister for Planning is the Responsible Authority for development applications that exceed 25,000 square metres in gross floor area and therefore public notification is the responsibility of the Minister for Planning (DTP).

It is noted that the following components of the application are exempt from the notice requirements of Section 52 (1) (a), (b) and (d), the decision requirements of Section 64 (1), (2) and (3) and the review rights of Section 82 (1) of the Act pursuant to the following clauses:

- Clause 2.0 and 4.0 of Schedule 4 (Docklands Zone) exempts the use and development.
- Clause 3.0 of Schedule 12 (Design and Development Overlay) exempts building and works.
- Clause 2.2 of Schedule 52 (Design and Development Overlay) exempts building and works.

- Clause 44.04-6 (Land Subject to Inundation Overlay) exempts buildings and works.

However, there is no exemption from notice under Clause 52.02 (Easements, restrictions and reserves). Therefore, the Minister for Planning has given notice of the application to Melbourne City Council in accordance with Section 52(1)(b) of the *Planning and Environment Act 1987*. Importantly, the Minister for Planning must also consider the interests of affected people before deciding on the application, which includes those owners and occupiers who are beneficiaries to the relevant registered restrictive covenant.

At the timing of this report, DTP have advised that they have received 2 objections.

## 8. Referrals

### 8.1. External referrals

External referrals are the responsibility of the Department of Transport and Planning as the Minister for Planning is the Responsible Authority.

### 8.2. Internal referrals

The table below summarises the internal advice received from the relevant Melbourne City Council internal departments, as well as the Planning officer's response to them.

Comment
City Design

City Design made the following comments / recommendations to the application:

- Landmark potential
  - Clause 11.03-6L-03 invites buildings of high design quality on landmark sites and while the policy does not designate landmark sites, it suggests that such sites will terminate views or mark key focal points. Buildings on such sites are to be designed to the highest quality; this has greater importance when the building itself seeks to play a landmark role. Policy also calls for design to maximise opportunities within the site to reinforce view corridors or termination points via buildings, structures or landscape treatments.
- Tower height
  - We accept that the proposed height could be considered to be acceptable in built form and urban morphology terms. Although the proposal is taller than the previous approval on Site (PA2010006254B which has subsequently expired) there is a logic, in urban morphology, in wayfinding and legibility, that the Site accommodates a landmark that may also be the tallest building.
- Wall effect
  - Concern about a 'wall effect' has been resolved with the justification provided in the Tower Separation Plan. The articulation generated by their building footprint is sufficient to alleviate that concern. In addition, the massing concern on La Trobe (views from along Footscray Rd etc) has been satisfied.
- Tower separation
  - Whilst the point at which the tower is 8.7m from the HEP it is considered acceptable as the secondary tower element is recessed from Harbour Esplanade. The secondary tower element also achieves an average on 9.75 metre setback from the HEP building and where it is at 8.7 metres it has included screening which avoids overlooking but also assists in continuing the edge of the building. Therefore, whilst it is fundamentally too close for what would typically be acceptable in towers of this size in the Central

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City (supported by DDO10), it has been considered and addressed appropriately to ensure there is no direct overlooking.

- Ground Floor
    - The open forecourt / garden area abutting 'Ron Casey Lane' remains the primary concern. It should be enclosed to provide a clear and consistent building frontage and edge to the public realm. While an active commercial frontage would be preferable, if the commercial frontage is advanced for the corner - as shown in the Adaptability Study, then a residential lounge at the 'Ron Casey' edge, instead of the undercroft landscape proposed, would be acceptable.
  - Overshadowing
    - Clause 11.03-6L-03 seeks to encourage the use of Harbour Esplanade and Victoria Harbour as areas for major open spaces and recreational activities. The Clause also provides policy guidance that public spaces should generally be free of significant overshadowing between 11am and 3pm at the equinox (22 September / 20 March).
    - The modest setback of the tower element from Harbour Esplanade results in an increase in shadows on the waterfront promenade. The proposal increases the extent of shadow permitted by the HEP envelopes which exacerbates an already poor outcome for this challenged but potentially highly valued public open space. We suggest further modelling to understand the implications of a modest reduction in height to improve the extent of overshadowing at the solstice and to increase the setback by a minimum of 4 metres from Harbour Esplanade.
  - Materials
    - It is important for the building expression that the use of brick as a structural element is believable. It is expected that where brick is proposed at the lower levels and we expect the façade strategy to show how whole bricks will be detailed at corners and other parts where brick depth is required.
- 

Officer comments:

To address the above items, the officer recommendation includes:

- Alterations to the built form to ensure the extent of shadow is reduced to the western footpath on Harbour Esplanade.
- The requirement for a Façade Strategy to ensure materials are robust, to a high quality and can be readily maintained. In addition, the Façade Strategy requires specific details on the hand laid bricks within the lower levels.
- The requirement for a Landscape and Maintenance Plan with specific requirements to demonstrate the viability of the landscaping particularly within the 'public green forecourt'.

#### Traffic Engineering

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Traffic Engineering made the following comments / recommendations to the application:

- The proposed car parking provision is acceptable, as it is below the maximum limitation of 843 spaces associated with the Parking Overlay.
  - All spaces, ramps, grades, transitions, accessways and height clearances must be generally designed in accordance with the Melbourne Planning Scheme (MPS) or AS/NZS 2890.1:2004.
  - The design of the loading area, including all space dimensions, grades and height clearances, must comply with relevant standards for Commercial Vehicles (AS2890.1:2018).
-

- The bicycle parking provision is acceptable. The design / dimensions of bicycle parking should comply with the relevant Australian Standards.
- It is recommended that at least 2 car share spaces be provided on site.
- A Loading Management Plan (LMP) must be prepared, specifying how the access / egress of loading vehicles is to be managed.
- A formal independent Road Safety Audit must be undertaken prior to construction, at the developer's expense, which must include vehicle / bicycle / pedestrian access arrangements, loading arrangements and internal circulation / layout.

Officer comments:

To address the above items, the officer recommendation includes conditions relating to a Road Safety Audit, Loading Management Plan and on site car share facilities.

### Infrastructure Development

Infrastructure Development made the following comments / recommendations to the application:

- The west property boundary along Harbour Esplanade passes through a line of trees that are maintained by the City of Melbourne. The public footpath at this location must be widened to align with the footpath width generally provided on the east side of Harbour Esplanade north of La Trobe.
- There is an existing Council stormwater drain and gross pollutant trap located within a drainage easement in the subject property along its west boundary. The drain and gross pollutant trap shall be relocated within the Road reserve.
- All projections over the street alignment must conform to Building Regulations 2018, Part 6, Sections 98 to 110 as appropriate. Reference can be made to the City of Melbourne's Road Encroachment Operational Guidelines with respect to projections impacting on street trees and clearances from face / back of kerb.
- Drainage easement E-4 and E-10 in favour of the City of Melbourne.
- Infrastructure Development recommended standard condition to address the following:
  - Drainage of projections
  - Drainage system upgrade
  - Groundwater management
  - Access
  - Street works
  - Any associated road works
  - Sawn bluestone footpaths
  - Any necessary relocation of street light / tram poles on La Trobe Street
  - Street furniture and public lighting.

Officer comments:

To address the above items, the officer recommendation includes conditions relating to drainage / easements, access, construction, public lighting, street works, footpaths, projections and the vesting of a portion of Harbour Esplanade footpath to the City of Melbourne.

### Waste and Recycling

Waste and Recycling made the following recommendations to the application:

- The proposed loading dock arrangement is not supported from a collection operational perspective due to the need to make a number of compactor movements (including whilst the truck is there). The following must be addressed:

- 
- A review of collection operations at another building using this type of system has found that drivers are having to move the compactors, when it should be done by building management.
  - The City of Melbourne requires that residential compactors be ready for collection when the truck arrives, as it is not the responsibility of drivers to move compactors into their collection position. Therefore, the design of the waste collection area needs to ensure that all bins and compactors are accessible and ready for collection to avoid undue delays.
  - Other items which must be addressed:
    - The bin lift is still shown on Ground floor plan drawing (TP100) and in swept path diagrams. It should be noted that a bin lifter may be necessary for emptying small glass and FOGO bins from each floor if the Council ultimately supplies collection bins that are larger than 120 L.
    - Residential E-waste: Council can supply 660 L bins for e-waste. This must be updated in tables 7, 11 and 18 of the WMP.
    - Residential charity bin is not shown on plan drawing. The plans must be updated to show.
    - The loading bay is of concern due to tight clearances, including the temporary parking area for the compactor having less than 500 mm all around due to the position of the pillar. However, it appears that the compactors shown in the plan and swept path drawings are still the same size as the previous set of drawings, even though the compactor sizes in the WMP have been reduced. If compactor/s are proposed in any amended WMP it must include:
      - Manufacturer specifications for the proposed compactor/s, including dimensions.
      - Updated drawings if compactor dimensions have changed.
    - Swept path diagrams must be updated to show a 9.8 m hook lift vehicle and an 8.8 metre service vehicle. The plan must demonstrate that a hook lift vehicle can make all manoeuvres with adequate clearances as well as an 8.8 metre service vehicle.
    - If compactor/s are proposed in the amended WMP, it must provide a swept path diagram showing the largest compactor in its collection position, showing the clearance from the pillar, and 1 m clearance at the rear of the hook lift vehicle.
    - An elevation diagram demonstrating the hook lift operation in the context of the loading bay ceiling.
- 

#### Officer comments:

To address the above items, the officer recommendation includes the requirement for an amended Waste Management Plan.

#### Sustainability and Green Infrastructure

Council's Environmentally Sustainable Design and Green Infrastructure officer made the following comments / recommendations:

- The development commits to a level of sustainability that meets the objectives of Clause 15.01-2L-01 Energy and resource efficiency and Clause 19.03-3L Stormwater management (water sensitive urban design) of the Melbourne Planning Scheme. There are however issues that still need to be resolved and most relate to providing further information at the planning stage to provide confidence that the development can achieve the aspirations outlined in the SMP.
-

- The development is seeking to register and certify the development as a 5 Star Green Star Building which is supported. The development is targeting 48 points which is supported and allows a buffer for credits that may not materialise.
- The sample of NatHERS assessments provided are just adequate to be representative of the whole development and meet the credit requirements. To align with Amendment C376 standards an average of 7.5 NatHERS would be preferred.
- An amendment Sustainable Management Plan to address any outstanding items.

Officer comments:

To address the above items, the officer recommendation includes:

- A requirement for an amended Sustainable Management Plan.
- Provision of an amended Landscape Package, inclusive of Green Factor Scorecard and Landscape Maintenance Plan.

#### Land Tenure

Land Tenure made the following comments / recommendations:

- Prior to the commencement of works, all necessary easements proposed to be removed and / or created must be shown.
- Built form projects from 695-699 La Trobe Street onto the adjoining lot to the east. Built form must be removed from this area.
- Where storage cages and service cupboards are not independently accessed and rely on access over an adjoining car space, they must be in used in association with that car space for which access is relied on and must be assigned to a single unit or tenancy within the development. Where access to a service cupboard relies on access over an adjoining car parking space, the adjoining car parking space must be deleted.
- The proposed projections must comply with Council's projections Guidelines.

Officer comments:

To address the above items, the officer recommendation includes:

- A requirement for the permit holder to demonstrate all necessary easements have been removed, varied or created to support the development prior to the commencement of any works.
- Any amendments to the architectural plans to ensure storage area are accessible, built form does not project into areas outside of 695-699 La Trobe Street and for all projections to comply with the Road Encroachment guidelines.

#### Urban Forest and Ecology

Urban Forest and Ecology made the following comments / recommendations:

- All the trees within the site are proposed to be removed. There are no planning permit requirements or local law permits necessary to be obtained within the City of Melbourne before removing these trees.
- The Application does not seek to remove any street trees to accommodate development.
- Urban Forest and Ecology has no objection to the application subject to the inclusion of a Tree Protection Plan.

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**Officer comments:**

To address the above item, the officer recommendation includes a requirement for Tree Protection Plan.

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**Homes Melbourne**

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Homes Melbourne made the following recommendations:

- There is strong policy guidance for an affordable housing contribution on the subject site. This includes an objective of the Planning and Environment Act, Clause 16.01-2S, and the City of Melbourne Affordable Housing Strategy.
- The applicant is offering an affordable housing contribution of 4.6% (26 dwelling contribution).
- It is recommended that the proposal provide for the delivery of at least 6% of dwellings as affordable housing across the whole development.
- A condition should be included on any permit issued to ensure the offer is secured by a Section 173 Agreement.

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**Officer comments:**

The affordable housing contribution is acceptable having regard to the planning controls affecting the site.

In this instance, it is noted that the planning controls affecting the site do not seek an affordable housing contribution, yet the applicant is making a voluntary contribution to increase the provision of affordable housing close to jobs, transport and services which is supported.

Whilst officers encourage a greater affordable housing contribution of 6% or greater, the proposed 4.6% is considered a positive voluntary component of the Application.

The officer recommendation includes a condition to formally secure the affordable housing contribution via a Section 173 Agreement.

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**City Strategy**

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City Strategy made the following comments to the application:

- It is recommended further public benefits be offered given the scale of the development and its prominent location.
- The tower limits views and results in additional shadow to the area.
- There are limited commercial uses within proximity to this development to cater for the daily need of residents.
- Consider removing 'Ron Casey Lane' and moving built form forward.

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**Officer comments:**

The Melbourne Planning Scheme does not require the provision of a 'public benefit'. Notwithstanding the proposal includes a 4.6% affordable housing contribution.

Regarding the tower height, massing and siting this is discussed further a Section 9.2 of the report.

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## 9. Assessment

The key issues for consideration in the assessment of the application, having regard to the relevant planning controls affecting the site, include:

- Land Use
- Built Form Response
- Noise Attenuation
- Compliance with Clause 58 (Apartment Developments)
- Car Parking and Access, Bicycle Facilities and Waste
- Create, Vary or Remove an Easement or a Restriction
- Environmentally Sustainable Design
- Provision of Affordable Housing

### 9.1. Land Use

The proposal seeks to use the land for the purpose of dwellings.

Pursuant to Schedule 4 of the Docklands Zone, Dwellings are a Section 2 use (permit required).

The proposed use is acceptable for the following reasons:

- The proposed use is one that is consistent with the purpose of the DZ4 which seeks to *provide for a range of commercial, residential, recreational, educational, technology, business and leisure uses within a mixed use environment.*
- The Site falls within the Stadium Precinct and is surrounded by various complementary uses within adjoining Docklands Precincts.
- The use seeks to support the mixed-use precinct through proposing residential and can occur in conjunction with the existing Major Sports and Recreation Facility. It is noted the application includes an Acoustic Report with recommendations to ensure the amenity of future occupants is not unreasonably impacted by other adjoining uses which is discussed further at Section 9.3 of this report.
- The proposal includes a variety of private and publicly accessible spaces which allow for future occupants as well as other users to pass through the Site.

The use of the land for dwellings with associated ancillary components represents an appropriate outcome which is supported by the purpose of the DZ4.

### 9.2. Built Form Response

The following policy and controls of the Melbourne Planning Scheme are relevant to the application particularly with regard to the proposed built form.

Clause 11.03.6L-03 (Planning for Places - Docklands) includes, amongst other things, the following strategies for Docklands:

- *Encourage medium to high density residential development.*
- *Encourage active uses fronting the waterfront to promote maximum activity.*
- *Ensure buildings that provide weather protection, an attractive built form and active ground floor uses.*
- *Ensure buildings on landmark sites that terminate views or mark key focal points are designed to the highest quality.*
- *Support development that is constructed to the street boundary and creates continuous street frontages whilst allowing variations in individual buildings and uses.*
- *Develop...Harbour Esplanade, Central Pier and Victoria Harbour to form the major open spaces.*

The provisions of the Design and Development Overlay Schedule 52: Stadium Precinct (DDO52-Area 1) apply to the Site. The design objectives and decisions guidelines of the DDO provide the relevant guidance on the appropriateness of the proposed built form within the Stadium Precinct.

The Design Objectives of DDO 52 seek:

- *To ensure that vistas to the east, into the Central Business District, and to the west across Victoria Harbour water body are recognised.*
- *To prevent any overshadowing of the playing surface of the major sports and recreation facility greater than the shadow that is already cast by the existing facility roof when fully open.*

In Schedule 52, Area 1 has the following maximum building heights:

- *For Area 1, a permit is required to exceed 25 metres except for two towers not exceeding 75 metres.*

The Decision Guidelines of DDO 52 required consideration of the following:

- *The prevention of any overshadowing of the playing surface of the major sports and recreation facility greater than the shadow which is already cast by the existing facility roof when fully open.*
- *The orientation and design of a development and whether it will cause significant overshadowing individually or as part of a cumulative effect on the public realm.*
- *The need to ensure appropriate separation of buildings, particularly tower elements, to provide spacing of building bulk and to avoid the creation of a wall effect.*
- *Buildings exceeding 40 metres in height must provide an appropriate built form relationship to the street.*
- *The need to preserve significant vistas.*
- *The nature of wind effects caused by any new building, and design measures to address these.*
- *To ensure that vistas to the east, into the Central Business District, and to the west across Victoria Harbour water body are recognised.*
- *To prevent any overshadowing of the playing surface of the major sports and recreation facility greater than the shadow that is already cast by the existing facility roof when fully open.*

The proposal's response to the above objectives and decisions guidelines are discussed below.

### **9.2.1 Building Height and Massing**

The proposed development includes an overall height of 130.9 metres (excluding building services). Area 1 of the DDO52 anticipates building heights of 25 metres except for two towers not exceeding 75 metres. There is an existing building (101 metre tower at 685-691 La Trobe Street), a proposed building (129 metre tower associated with the envelopes approved under Amendment C438) and the existing Channel 7 building associated with Area 1. As the proposal exceeds the 'as of right' maximum building heights, consideration must be given to the objectives and decision guidelines of the DDO. The main determinants for height are the objectives which seek to ensure views and vistas to and from the city are appropriately recognised and that the visual bulk is limited to avoid the creation of a 'wall effect'.

When considered building height and massing, the proposal is in keeping with the objectives of the DDO, as the form at the overall height of 130.9 metres (excluding roof plant) sits reasonably within the context of other recent approvals. The tower achieves a discernible separation from existing and future development. In addition, the tower form includes a secondary recessive element which steps down to the development to the east on La Trobe Street. The height and massing appropriately transition along both the Harbour Esplanade and La Trobe Street interfaces and will present an acceptable scale in the context of this corner landmark site.

Notwithstanding the above, whilst the overall height and massing is acceptable from a built form perspective, there remains outstanding concerns relating to the resultant public realm implications

associated with the scale of the proposed development and its associated overshadowing impacts to Harbour Esplanade. The overshadowing implications are discussed a Section 9.2.4 of the report.

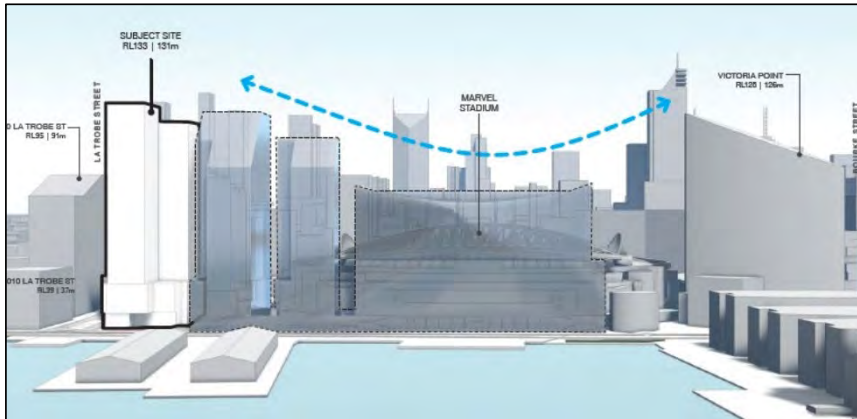


Figure 13 – Render of the internal publicly accessible link along the south west boundary (source: applicant)

**9.2.2 Setbacks**

The DDO52 does not specify setback controls for built form, however it does seek to ensure built form considers the *vistas to the east, into the Central Business District, and to the west across Victoria Harbour.*

The proposal has incorporated various setbacks above the podium and from adjoining development. These setbacks assist in balancing the visual impact of the overall height of the development and avoid the creation of a wall effect. Whilst the secondary tower element includes an 8.7 metre setback to the approved tower envelope associated with Amendment C438, the setback increases to 38.5 metres closer to Harbour Esplanade. The specific detail and land use of the approved adjoining tower envelope is unknown, however, to avoid overlooking the Application includes screening to the southern elevation of the balcony spaces of the effected dwellings.

Overall, the setbacks above the podium are acceptable in the context of the DDO52 and allow for views to and from the CBD particularly from vantage points on La Trobe Street and Harbour Esplanade.

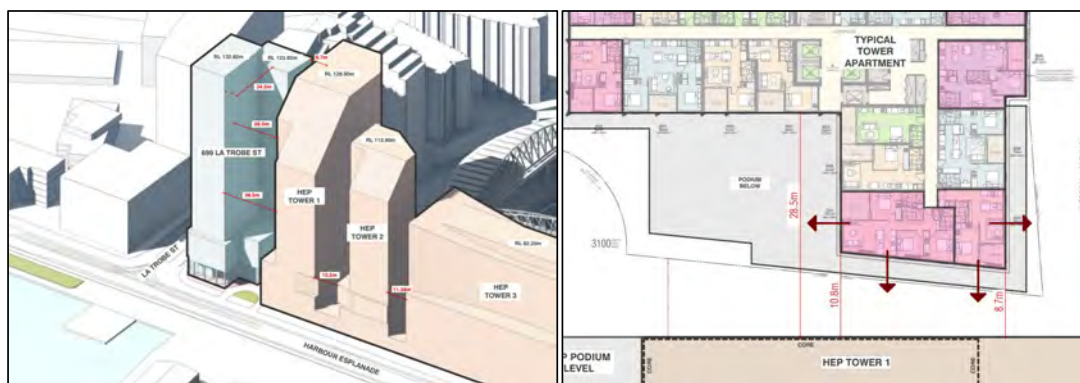


Figure 14 – Tower setbacks from the approved Harbour Esplanade envelopes (left) and a typical floorplate (right) (source: applicant)

**9.2.3 Ground Floor and Flooding Response**

Clause 11.03.6L-03 (Docklands) seeks to ensure developments incorporate activity at the street level and encourage construction of built form to the street edge. The Land Subject to Inundation Overlay Schedule 3 (LSIO3) applies to part of the Site along Harbour Esplanade. The proposed development seeks to balance flood mitigation whilst also achieving an acceptable design and landscaping response.

The proposed landscaping, terracing, seating and ramp effectively hide the level change, and the ground floor façade remains glazed to allow for passive connectivity to La Trobe Street and Harbour Esplanade. The outcome achieves an appropriate design and flood mitigation response which has been derived from consideration of the *Good Design Guide for Building in Flood Affected Areas*. However, it must be noted that the preferred outcome would be for the ground floor to extend further towards Harbour Esplanade to create a more defined street edge. In addition, whilst the Application includes a Future Adaptability Study, it does not formally propose to include any commercial / retail tenancy to assist with creating activity as anticipated by policy.

In light of the above, the officer recommendation includes a condition for further design measures to achieve a more defined street edge to Harbour Esplanade and / or to provide a 'food and drink premise(s)' at the ground floor generally in accordance with the Future Adaptability Study. The recommended condition seeks to ensure the ground floor achieves an activated frontage either through further design measures and / or in a land use mix.



Figure 15 – Proposed ground level (left) and the Future Adaptability Strategy showing two potential commercial tenancies (right) (source: applicant)

### 9.2.4 Overshadowing

#### Stadium Impact

The DDO52 requires consideration of the impact of overshadowing on the playing surface of the major sports and recreation facility (the 'Stadium'). Since the Stadium was originally developed, it is understood that alternative technologies are used, such as grow lamps, to cultivate the playing surface without the reliance on natural sunlight. Therefore, the requirement for natural light is no longer as critical as previously.

Notwithstanding the above, the applicant has undertaken a shadow analysis to determine the impact on the stadium's playing surface. The additional overshadowing on the playing surface at the Winter Solstice (21 June) is limited to 6.7% at 3pm. Importantly, the proposal results in no additional overshadow when factoring in the approved envelopes associated with Amendment C438.

Given the alternative technologies, the minor extent of additional overshadowing and the permitted overshadowing associated with Amendment C438, the outcome is acceptable.

#### Public Realm Impact

In relation to overshadowing of key public spaces, relevant policy and guidelines within the planning scheme are as follows:

At Clause 11.03-6L-03 (Planning for Places - Docklands), the policy guidelines require consideration of the following:

- *Public spaces should generally be free of significant overshadowing between 11am and 3pm at the equinox (22 September / 20 March); and*

- *Shadow diagrams which illustrate the shading effects of development in public and private spaces.*

At Clause 3.0 of Schedule 52 to the Design and Development Overlay, the decision guidelines, amongst other things, require consideration of:

- *The orientation and design of a development and whether it will cause significant overshadowing individually or as part of a cumulative effect on the public realm.*

It is noted that Clause 15.01-1L-03 (Sunlight to public spaces) does not apply to land within the Docklands Zone nor does Planning Scheme Amendment C415 (Sunlight to Parks).

The requirements at Clause 11.03-6L-03 (Planning for Places – Docklands) and Schedule 52 of the Design and Development Overlay provide broad, discretionary guidance relating to overshadowing of public open spaces, albeit with a specific guideline at Clause 11.03- 6L-03 stating public spaces should generally be free of significant overshadowing between 11am and 3pm at 22 September and 20 March. These guidelines are relevant to Harbour Esplanade.

The primary impact to Harbour Esplanade is between 11am-12pm at the equinox to the western side of Harbour Esplanade. Due to the overall height, a shadow mass extends across the extent of Harbour Esplanade into Victoria Harbour (previous area associated with Central Pier) during this time. The extent of shadow to this area of Harbour Esplanade impacts on its existing and future usability which is of a concern when considering Clause 11.03-6L-03 (Docklands) which seeks to ensure ‘*Harbour Esplanade, Central Pier and Victoria Harbour [are developed] to form the major open spaces*’ for the precinct.

Furthermore, DDO52 requires consideration on the ‘*cumulative effect [of overshadowing] on the public realm*’. The approved envelopes associated with Amendment C438 combined with the extent of shadow associated with the proposed development are unreasonable. The cumulative extent of shadow also has the potential to impact on the future strategic planning for the area and impact on the success of the vision anticipated in Development Victoria’s *Revitalising Central Pier Waterfront – Vision and Place Principle* documented dated 5 August 2024.

No detail has been included within the Application regarding any specific plans or details for Harbour Esplanade and the associated waterfront. The absence of detailed strategic planning documents or approved development plans make the assessment challenging to determine the specific impact to the area. However, when considering existing approvals and the proposed extent of shadow it is presenting an unreasonable impact to the public realm. Of particular concern is the extent of overshadowing to the parts of the western footpath on Harbour Esplanade from 11am to 11.45am at the equinox.

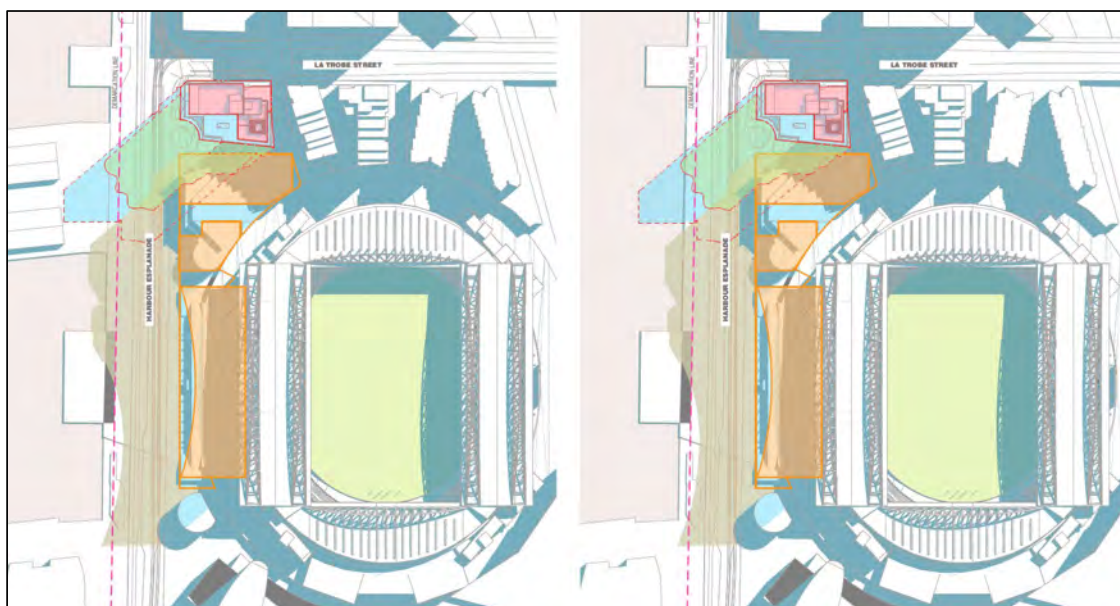


Figure 16 – Overshadow analysis to Harbour Esplanade at 11am on the 22 September including shadow impact from the tower envelopes associated with Amendment C438 (prior to demolition of central pier (left) and existing context (right)) (source: applicant)

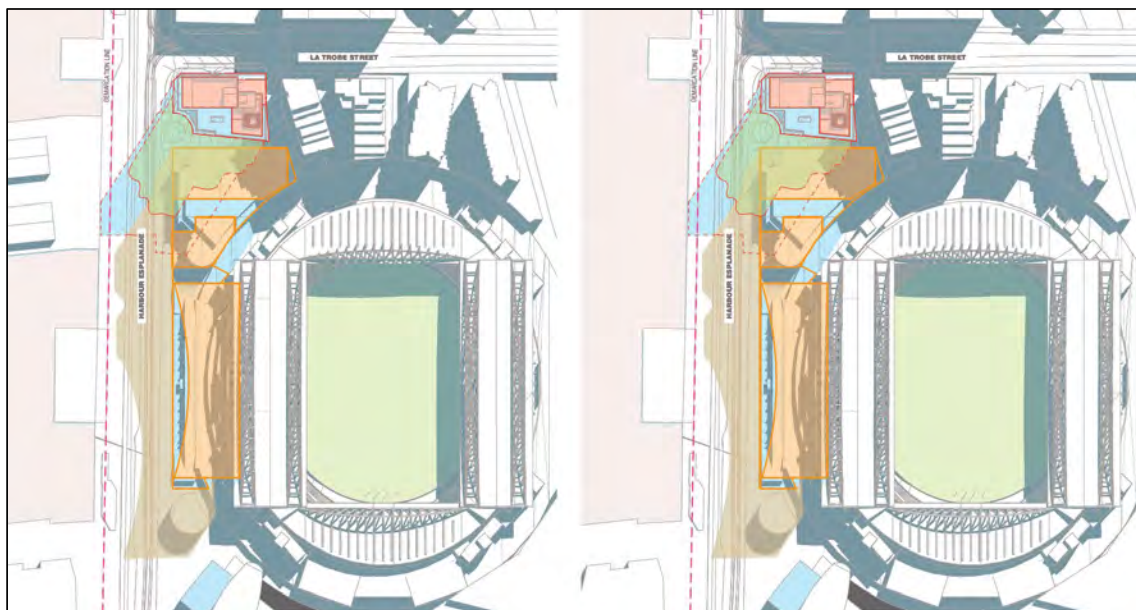


Figure 17 – Overshadow analysis to Harbour Esplanade at 11:45am on the 22 September including shadow impact from the tower envelopes associated with Amendment C438 (prior to demolition of central pier (left) and existing context (right)) (source: applicant)

The officer recommendation includes a condition which requires an alteration to the built form to ensure the western footpath on Harbour Esplanade from 11am on 22 September remains free of any overshadowing. The recommendation ensures the existing western footpath remains protected from unreasonable overshadowing impacts whilst also the amenity of Harbour Esplanade is protected for the future strategic planning of the area as anticipated in Development Victoria’s *Place Principles and Vision Strategy*.

Figure 18 below highlights the specific areas in yellow and blue sought to be protected by the recommend condition.



Figure 18 – Recommended condition seeks to ensure there is no overshadowing impact at the equinox between 11am and 3pm to the western footpath on Harbour Esplanade (yellow) as well as to Victoria Harbour / Central Pier (blue) (source: Compass aerial image from November 2019)

**9.2.5 Wind**

In relation to wind impacts, relevant policy and guidelines within the planning scheme are as follows:

- At Clause 4.0 of Schedule 4 to the Docklands Zone a decision guideline requires the consideration of *the wind effects of the proposed development at ground level.*
- At Clause 3.0 of Schedule 52 to the Design and Development Overlay a decision guideline require the consideration of *the nature of wind effects caused by any new building, and design measures to address these.*

As detailed within the Wind Report submitted with the application, the built form has been modified to manage wind impacts through the double storey void above the podium and the ‘cut-outs’ for dwellings located on the north-western corner of the tower. However, the Wind Report notes that the safety criterion fails for the north wind direction at three locations.

Whilst the Site meets sitting, standing and walking criteria, the failed areas are to Harbour Esplanade.

The wind effects caused by the building to the public realm are not considered reasonable. However, it is noted that in addressing the overshadowing implication raised at Section 9.2.4 of this report, the built form will require modification and therefore a revised Wind Report. Notwithstanding, the officer recommendation includes a condition which requires a revised Wind Report which provides further consideration to the safety criterion for Harbour Esplanade.

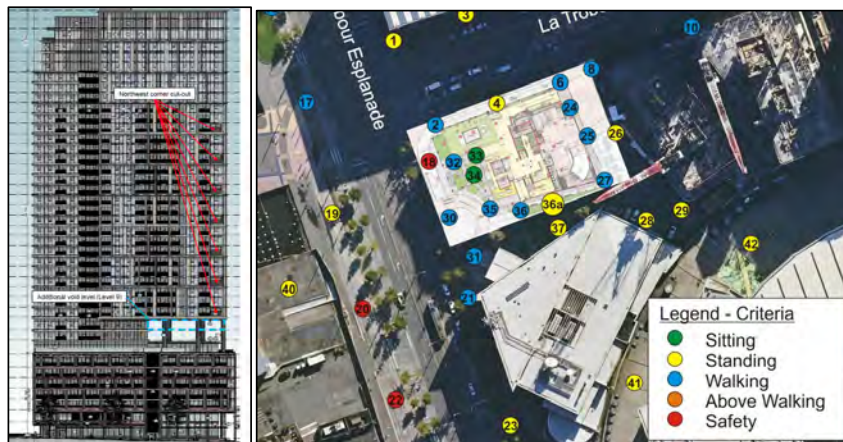


Figure 19 – Specific design measures to address wind (left) and testing which shows three areas which fail the safety criterion in red (right) (source: applicant)

**9.3. Noise Attenuation**

In relation to noise attenuation, relevant policy and guidelines within the planning scheme are as follows:

- At Clause 1.0 of Schedule 12 to the Design and Development Overlay, the design objectives require consideration of:
  - *To ensure that new or refurbished developments for new residential and other noise sensitive uses constructed in the vicinity of the Docklands Major Sports and Recreation Facility include appropriate acoustic measures to attenuate noise levels, in particular music noise, audible within the building.*

- To ensure that land use and development in the vicinity of the Docklands Major Sports and Recreation Facility is compatible with the operation of a Major Sports and Recreation Facility.

As detailed within the Acoustic Report, all apartments will have appropriate acoustic attenuation from noise from the Stadium. The measures include minimum glazing requirements, specific external wall construction requirements and acoustic treatment for any ventilation openings. It is considered these acoustic attenuation measure will protect residents from any onsite or offsite noise impacts.

#### 9.4. Compliance with Clause 58 (Apartment Developments)

The proposal has been generally designed to comply with Clause 58 – Better Apartment Design Standards including room depths, access, functional layout storage, accessibility, and circulation.

Where a Clause 58 Standard is not met, an assessment is provided below:

##### 9.4.1 Clause 58.03-5 Landscaping objective

The proposed landscaping detailed in the Landscape Plan, does not meet the minimum requirements of Standard D10.

A variation is acceptable because:

- The proposal includes landscaping, terracing and setting at the ground level which will be publicly accessible.
- The common areas located at level 7 and 37 of the development include high quality landscaping outcomes.



Figure 20 – Landscaping of communal areas on Level 7 and 37 (source: applicant)

##### 9.4.2 Clause 58.05-3 Private open space objective

The proposal seeks a variation to Standard D20 as it does not provide the required private open space for apartment type A09, A10 and B14.

A variation for the minimum balcony is acceptable because:

- The lack of an individual private open space for these dwellings will not unreasonably affect the amenity of the dwellings or the recreation and service needs of future residents. In addition, the internal living areas are greater to offset the loss of a balcony space
- These dwelling types account for eight out of the 560 dwellings.
- The future residents have access to communal open space within the Site which exceeds the amount specified by Clause 58.03-2 and Standard D7.

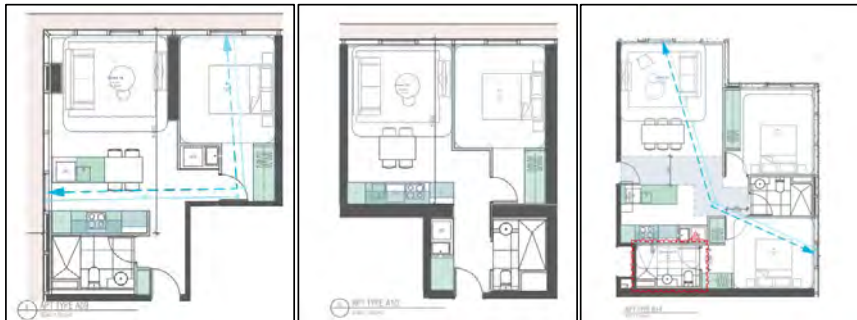


Figure 21: Type A09, A10 and B14 (from left to right) which fail to comply with Standard D20 (source: applicant)

### 9.4.3 Clause 58.07-4 Natural ventilation objective

The proposal seeks a variation to Standard D29 as it does not provide at least 40 per cent of dwellings with effective cross ventilation.

A variation is acceptable because:

- 37% of apartments achieve effective cross ventilation in accordance with Standard D29.
- Whilst the scheme falls short by 3%, the dwellings all largely have positive views and outlook due to the tower design which assists in offsetting the non compliance.

## 9.5. Environmentally Sustainable Design

The proposal is capable of achieving an appropriate response when assessed against Clause 15.01-2L-01, Clause 19.03-3L and Clause 53.18 through the submission of a Sustainability Management Plan, inclusive of Water Sensitive Urban Design assessments, outlining sustainable design measures to be implemented within the development.

The officer recommendation includes a condition requiring an amended Sustainability Management Plan to address the items provided at Section 8.2 of this report.

## 9.6. Car parking and access, bicycle facilities and waste

### 9.6.1 Car parking and access

As set out under Section 6 of this report, the proposal does not require a planning permit under the Parking Overlay Schedule 8. The Site is well located in relation to public transport routes located along Harbour Esplanade and La Trobe Street. The Site is also within proximity to Southern Cross Station.

Council's Traffic Engineers had no objection to the proposal on grounds of parking supply and demand, vehicle access from La Trobe Street, traffic volume and loading arrangements subject to the inclusion of recommended planning permit conditions like a Road Safety Audit and a Loading Management Plan.

### 9.6.2 Bicycle facilities

As set out under Section 6 of this report, the proposal exceeds the statutory requirement of 169 spaces by providing a total of 435 bicycle spaces. This includes 71 spaces for visitors, with 34 of these spaces accessible at ground level. It is noted that 12 spaces are located outside of the title boundary along La Trobe Street. The Application should not rely on the public realm to provide visitor bicycle space. Therefore, the officer recommendation includes a recommended planning permit condition to relocate the spaces within the title boundary.

Bicycle facilities have been designed to comply with the design requirements, as confirmed by Council's Traffic Engineers. End of trip facilities are also provided across the development as required by Clause 52.34.

**9.6.3 Waste**

A Waste Management Plan for the proposed development has been submitted to and reviewed by Council’s Waste Team as discussed above in Section 8.2 of this report, with outstanding matters capable of being addressed through permit conditions requiring an amended Waste Management Plan.

**9.7. Covenant and Easements**

The Application seeks planning permission pursuant to Clause 52.02 to vary a covenant and to remove, vary and create easements. The consideration on the variation to any covenant and the removal, variation or creation of easements under Clause 52.02 is a matter for the Minister for Planning as the Responsible Authority to determine. Any assessment by the Responsible Authority must give consideration to the interests of any affected people. It is understood there are two objections to the application which must be considered by the Responsible Authority prior to the determination of any application. Notwithstanding, it is understood the following text is required to be removed from Covenant AD304197L to facilitate the proposed development:

*The owner of the Burdened Land must not...*

- e) erect or allow to be erected any building, structure or signage on that part of the Burdened Land designated as a Light and Air Easement on Plan of Subdivision 32271H and being marked E-1, E-4, E-5, E-10, E-11 and E-12 on Plan of Subdivision 432271H.*

The officer recommendation includes a condition that any easements required to be removed, varied or created to accommodate the development are resolved prior to the commencement of any works.

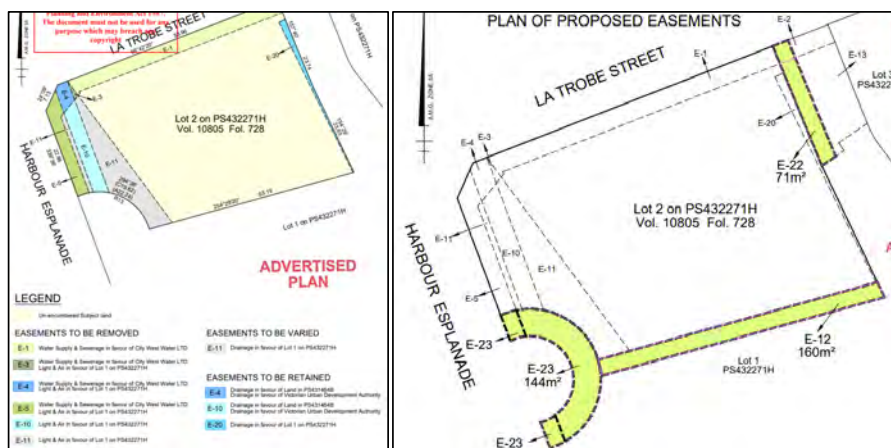


Figure 22 – Proposed removal, variation and creation of easements (source: applicant)

**9.8. Provision of Affordable Housing**

The application includes a voluntary affordable housing contribution of 4.6% of dwellings (26 dwelling contribution).

The Melbourne Planning Scheme does not mandate the provision of a public benefit or for the provision of affordable housing for this site. Further, the application is not being considered under Clause 53.23 (Significant Residential Development with Affordable Housing) which requires an affordable housing offering. Noting this, the affordable housing contribution is a supported component of the development, and we commend the applicant on this offering. The officer recommendation includes a condition to secure the affordable housing by way of a Section 173 Agreement.

## 10. Conclusion

For the reasons discussed in this report, it is considered that the proposal is an acceptable outcome having regard to the relevant provisions of the Melbourne Planning Scheme subject to the following conditions.

## 11. Officer Recommendation

That the Future Melbourne Committee resolves to advise the Department of Transport and Planning that Melbourne City Council does not object to the planning permit application, subject to conditions set out below:

### Amended Plans

1. Prior to the commencement of the development, an electronic set of plans drawn to scale and an updated development summary, must be submitted to the Responsible Authority in consultation with Melbourne City Council, generally in accordance with the plans prepared by Fender Katsalidis, dated 12 May 2025 but amended to show:
  - a) Alterations to the built form to ensure the extent of overshadowing does not extend beyond the western footpath along Harbour Esplanade between 11am and 3pm on 22 September.
  - b) Further design measures to achieve a more defined street edge to Harbour Esplanade and / or include a 'food and drink premises' at the ground floor level generally in accordance with the 'Future Adaptability Strategy' prepared by Fender Katsalidis and dated 31 July 2025.
  - c) Relocation of the 12 visitor bicycle parking spaces located on La Trobe Street to inside the title boundary of the subject site.
  - d) All car parking spaces adjacent to the basement storage areas must be deleted or redesigned to allow for adequate access.
  - e) All spaces, ramps, grades, transitions, accessways and height clearances must be generally designed in accordance with the Melbourne Planning Scheme (MPS) or AS/NZS 2890.1:2004.
  - f) Demonstrate that all canopies to La Trobe Street and Harbour Esplanade comply with Melbourne City Council's Road Encroachment Operational Guidelines.
  - g) Any changes, technical information or plan notations (or otherwise) required as a consequence of any other conditions in this Permit.

These amended plans must be to the satisfaction of the Responsible Authority and when approved shall be the endorsed plans of this permit.

### Endorsed Plans

2. At all times what the permit allows must be carried out in accordance with the requirements of any document endorsed under this permit to the satisfaction of the Responsible Authority.
3. The development as shown on the endorsed plans must not be altered or modified unless with the prior written consent of the Responsible Authority.

### Completion of Development

4. Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.

### Retention of Architect

5. Except with the written consent of the Responsible Authority, Fender Katsalidis must be retained to provide architectural oversight during construction and completion of the detailed design as shown in the endorsed plans and schedule of materials and finishes to the satisfaction of the Responsible Authority.

**Façade Strategy**

6. Concurrent with the endorsement of plans pursuant to Condition 1, a Façade Strategy and Materials and Finishes must be submitted to and be approved by the Responsible Authority in consultation with Melbourne City Council. All materials, finishes and colours must be in conformity with the approved Façade Strategy to the satisfaction of the Responsible Authority in consultation with Melbourne City Council. The Façade Strategy must be generally in accordance with the development plans and must detail:
  - a) A concise description by the architect(s) of the building design concept and how the façade works to achieve this.
  - b) Elevation details generally at a scale of 1:50 illustrating typical lower level details, balcony niches, entries, lobbies and doors, utilities and structural columns, as well as typical tower details, key junctures and any special features which are important to the building's presentation.
  - c) Street level elevations at a scale of 1:20 (or similar) for all public interfaces. All proposed materials at the street wall level should be robust and of high quality, and should be annotated on these drawings.
  - d) Cross sections or another method of demonstrating the façade systems, including fixing details indicating junctions between materials and significant changes in form and/or material.
  - e) Information about how the façade will be accessed and maintained and cleaned, including any planting if proposed.
  - f) Example prototypes and/or precedents that demonstrate the intended design outcome as indicated on plans and perspective images, to produce a high quality built outcome in accordance with the design concept.
  - g) A schedule of colours, materials and finishes, including the colour, type and quality of materials showing their application and appearance. Materials and finishes must be of a high quality, contextually appropriate, durable and fit for purpose. This can be demonstrated in coloured elevations or renders from key viewpoints, to show the materials and finishes linking them to a physical sample board with coding.
  - h) Further details on the hand-laid bricks at the lower levels of the podium including specific details on the whole bricks at corners of the development.

**Reflected Glare Assessment**

7. Prior to the commencement of the development, a Reflected Glare Assessment of external building materials and finishes, utilising an appropriate methodology prepared by a suitably qualified person, must be prepared and submitted to the satisfaction of the Responsible Authority.
8. External building materials and finishes must not result in hazardous or uncomfortable glare to pedestrians, public transport operators and commuters, motorists, aircraft, or occupants of surrounding buildings and public spaces, to the satisfaction of the Responsible Authority.
9. Specular light reflectance from external materials and finishes must be less than 15% to the satisfaction of and unless otherwise approved by the Responsible Authority.

**Waste Management**

10. Concurrent with the endorsement of plans under Condition 1, an amended WMP must be submitted to and approved by Melbourne City Council – Waste and Recycling. The amended WMP must be generally in accordance with the WMP prepared by WSP dated May 2025, but amended to include or show:
  - a) Any changes as required by Condition 1 of this Permit.
  - b) Any changes required to meet municipal waste collection requirements in accordance with 'Residential' specifications in the *City of Melbourne's Guidelines for Preparing a Waste Management Plan*.

- c) Updates to the loading dock arrangement to accommodate operational collection requirements and to:
    - i. Clarify the role of building management in the collection and movement of compactors.
    - ii. Demonstrate that the design of the loading bay is such that compactor/s will be easily accessible and ready for collection when the truck arrives, and that upon return, the compactor/s can easily be put back into their storage position.
    - iii. Provide manufacturer specifications for the proposed compactor/s, including dimensions and updated plan drawings with the correct compactor dimensions.
    - iv. Provide an elevation diagram showing that the hook lift operation, in the context of the loading bay ceiling, can be achieved in accordance with the guidelines.
  - d) If required, a bin lifter for emptying small glass and FOGO bins from each floor.
  - e) Updates to tables 7, 11 and 18 to note that Council can supply 660 L bins for Residential E-waste.
  - f) Further swept path diagrams to show a 9.8 metre hook lift vehicle and an 8.8 metre service vehicle, with adequate clearances from hard structures during all manoeuvres.
11. Once approved, the WMP will be endorsed and will form part of this permit. At all times waste management and collection must be carried out in accordance with the requirements of the approved and endorsed WMP to the satisfaction of Melbourne City Council – Waste and Recycling. Waste storage and collection arrangements must not be altered without prior consent of Melbourne City Council – Waste and Recycling.
12. No garbage bin or waste materials generated by the development may be deposited or stored outside the site and bins must be returned to the garbage storage area as soon as practical after garbage collection, to the satisfaction of Melbourne City Council – Waste and Recycling.

### **Sustainable Management Plan**

13. Concurrent with the endorsement of plans pursuant to Condition 1, an amended Sustainable Management Plan (SMP) prepared by a suitably qualified person must be submitted to and approved by the Responsible Authority in consultation with Melbourne City Council. When approved, the amended SMP report will be endorsed and form part of this permit. The amended SMP report must be generally in accordance with the SMP report prepared by Arup dated August 2024, but modified to include or show:
- a) Any changes as required by Condition 1 of this Permit.
  - b) Evidence that the project is registered for 5 Star Green Star Buildings – V1 Revisions B tool or equivalent.
  - c) The Green Star Accredited Professional (individual) who has been engaged on the project.
  - d) Further evidence provided on the consideration of an average 7.5 NatHERS.
  - e) Further information indicating that at a minimum the external landscape of the building achieves either 30% of the site area or equivalent.
  - f) A schematic design to provide a review of the proposed design including an air barrier schematic, and to detail a proposed air tightness target.
  - g) An air barrier schematic and proposed air tightness target.
  - h) Evidence of a risk and opportunities assessment and a responsible procurement plan.
  - i) Provide calculations that demonstrate the amount of space that has adequate daylight as a proportion of the total regularly occupied areas of the building.
  - j) A copy of the pre-screening climate change checklist. Prior to construction a project specific climate change risk and adaptation plan needs to be provided.

- k) Provide the Green Star movement and place calculator indicating 3 points can be achieved by the development.
- l) Evidence that shows at least 75% of the whole site area comprises of one or a combination of strategies that reduce the heat island effect.
- m) Provide a Green Factor scorecard demonstrating a minimum score of 0.55 and a plan that shows where all of the Green infrastructure elements provided in the tool are located.
- n) Provide notes and labels on plans that show materials that are included in the 75% compliance area for the urban heat island requirements.
- o) Provide a note on the roof plan that indicates the PV system size is 62 kw.
- p) Provide a note on the floor plans showing the volume of the rainwater tank as at least 40 kL including a notation for intended reuse for toilets, irrigation and washdown.
- q) Show the location of any third party certified proprietary devices on the planning drawings.
- r) Indicate the Visual Light Transmittance value for all glazing on the elevations.

The Responsible Authority may consent in writing to vary any of these requirements.

14. Once approved, the SMP will be endorsed and will form part of this permit. The performance outcomes specified in the SMP must be achieved in the completed development. The SMP must not be altered or amended without the written consent of the Responsible Authority and Melbourne City Council.

#### **Implementation of Sustainable Management Plan Report**

15. Prior to the occupation of any building approved under this permit, a report from the author of the endorsed SMP report, or similarly qualified persons or companies, outlining how the performance outcomes specified in the amended ESD report have been implemented must be submitted to the Responsible Authority and Melbourne City Council. The report must be to the satisfaction of the Responsible Authority and Melbourne City Council and must confirm and provide sufficient evidence that all measures specified in the approved ESD report have been implemented in accordance with the relevant approved plans.

#### **Green Star Buildings Certification**

16. Within 24 months from the date of occupancy evidence of a certified 5 Star Green Star Buildings rating should be provided to the Responsible Authority and Melbourne City Council.

#### **Landscape Architecture**

17. Concurrent with the endorsement of plans pursuant to Condition 1, a complete Green Infrastructure Landscape Package and Landscape Maintenance Plan be prepared by a suitably qualified landscape architect must be submitted and approved by the Responsible Authority in consultation with Melbourne City Council. This plan must be generally in accordance with the plans prepared by Oculus dated August 2024 and must be updated to show:
  - a) Any changes as required by Condition 1 of this permit.
  - b) Detailed planter sections including soil volumes, diverse schedule of species including indicative planting locations with specific consideration given to tree species / placement / soil volume requirements and specified lightweight growing media.
  - c) Incorporate the use of more native shade tolerant specified for the ground level.
  - d) Remove reference to any artificial lawn.
  - e) The Landscape Maintenance Plan should provide details of proposed maintenance regimes with provision for maintenance beyond the fifty two week period following Practical Completion.
18. Except with the prior written consent of the Responsible Authority and Melbourne City Council the approved landscaping must be implemented prior to the occupation of the development. The landscaped areas must be maintained to the satisfaction of the Responsible Authority.

## Section 173 Agreements

### *Affordable Housing*

19. Before the development starts, excluding demolition, bulk excavation, piling, site preparation works, and works to remediate contaminated land, the landowner must enter into an agreement with Melbourne City Council and the Responsible Authority specified as a party to the agreement, under section 173 of the Planning and Environment Act 1987, to the satisfaction of the parties, for the delivery of affordable housing (as defined in the Act).

The agreement must be registered on title to the Land and the landowner must be responsible for the expense of preparation and registration of the agreement including Melbourne City Council's and the Minister for Planning's reasonable costs and expenses (including legal expenses) incidental to the preparation, registration and ending of the agreement (where applicable).

The agreement must be in a form to the satisfaction of Council and include covenants that run with title to the Land to:

- a) Provide for the delivery of at least 4.6% of dwellings as affordable housing as defined by Section 3AA of the Act before the development is occupied. This may be provided by utilising one or more of the following mechanisms:
  - i. Gifting dwellings within the development to a registered agency (or rental housing agency approved by the Responsible Authority) at nil consideration; or
  - ii. Leasing dwellings within the development as affordable housing under the management or oversight of a registered agency (or rental housing agency approved by the Responsible Authority). The cumulative value of the discounted rent must be of equivalent or higher value to condition 19(a)(i); or
  - iii. Any other mechanism providing a contribution of equivalent or higher value to condition 19(a)(i) to the satisfaction of the Responsible Authority in consultation with Melbourne City Council.
- b) Unless otherwise agreed in writing by the Responsible Authority, in consultation with Melbourne City Council, the affordable housing delivered under condition 18(a) must:
  - i. be delivered within the development approved by this planning permit;
  - ii. take the form of one or two or three-bedroom dwellings generally representative of the approved dwelling mix unless otherwise required by a registered agency or rental housing agency;
  - iii. be functionally and physically indistinguishable from, and have comparable amenity to, other dwellings;
  - iv. include appropriate access to communal facilities within the building at no extra fee for occupants of affordable housing dwellings; and
  - v. allocate one or more bicycle parking space per dwelling.
- c) If the affordable housing contribution is to be delivered through the mechanism set out in condition 19(a)(i), the landowner will engage a registered agency or rental housing agency to oversee the allocation of and annual reporting on the affordable housing. The registered agency or rental housing agency will be responsible for providing assurance that:
  - i. The affordable housing dwellings are allocated to eligible households (as set out in the Planning and Environment Act);
  - ii. Rental payments are no greater than 30% of gross household income for allocated households;
  - iii. An annual compliance check is undertaken to ensure households continue to be eligible for affordable housing;

- iv. An annual report is prepared setting out the number of dwellings that have been rented as affordable housing and the annual and cumulative value of the discounted rent; and,
- v. The annual report prepared by a registered agency or rental housing agency must be provided to the Responsible Authority and Melbourne City Council on 30 June.

### **Noise Attenuation**

- 20. Concurrent with the endorsement of plans under Condition 1, the Acoustic Report prepared by Acoustic Logic dated August 2024 must be amended to reflect the changes as required by Condition 1.
- 21. Prior to the occupation of the development, the provisions, recommendations and requirements of the endorsed Acoustic Report must be implemented and complied with to the satisfaction of the Responsible Authority. The report must not be altered or amended without the written consent of the Responsible Authority.

### **Wind Report**

- 22. Concurrent with the endorsement of plans pursuant to Condition 1, an amended Wind Report prepared by a suitably qualified wind consultant must be submitted and approved by the Responsible Authority in consultation with Melbourne City Council. This plan must be generally in accordance with the plans prepared by MEL Consultants Logic dated October 2023 / August 2024 and must be updated to show:
  - a) Any changes as required by Condition 1 of this permit.
  - b) Revised modelling and any associated changes to the development to ensure there are no unreasonable safety implications to Harbour Esplanade.
- 23. Prior to the occupation of the development, the provisions, recommendations and requirements of the endorsed Wind Assessment must be implemented and complied with to the satisfaction of the Responsible Authority. The report must not be altered or amended without the written consent of the Responsible Authority.

### **Construction Management and Tree Protection**

#### *Construction Management Plan*

- 24. Prior to the commencement of the development, including demolition or bulk excavation, a detailed demolition and construction management plan must be submitted to and be approved by the Melbourne City Council – Site Services. This demolition and construction management plan must be prepared in accordance with the City of Melbourne's Code of Practice for Building, Construction and Works and is to address the following:
  - a) public safety, amenity and site security.
  - b) operating hours, noise and vibration controls.
  - c) air and dust management.
  - d) stormwater and sediment control.
  - e) waste and materials reuse.
  - f) traffic management.
  - g) An Arboricultural Impact Assessment (AIA) and Tree Protection Plan (TPP) must be provided to the satisfaction of the City of Melbourne. These documents may be staged to cover the demolition, excavation, construction or civil works. The AIA-TPP must collectively identify all impacts to public trees, be in accordance with AS 4970-2009 (*Protection of trees on development sites*), AS4373-2007 (*Pruning of Amenity Trees*), and be authored by a qualified consulting arborist (min. AQF Level 5), including, but not limited to:
    - i. A public tree location plan drawn to scale including approved building design, construction zones, site access, machinery, equipment, temporary structures and dimensioned tree protection zones required to enable demolition, excavation, and construction, where these works are to impact public trees

- ii. City of Melbourne asset numbers for the public trees to be impacted (found at <http://melbourneurbanforestvisual.com.au>).
- iii. A written assessment of all public trees located adjoining property, detailing the general condition and specific data of each public tree, and any construction impact the proposal will have on the trees, presented concisely with the assistance of tables and photos.
- iv. Reference finalised Construction and Traffic Management Plan, including designs, details, and dimensions of any public protection gantries, scaffold, loading zones and machinery locations.
- v. Site specific details of the temporary tree protection fencing or hoarding to be used to isolate public trees from the demolition and construction activities. These must be shown on the location plan. Details of any other tree protection measures considered necessary and appropriate to the works.
- vi. Specific details of any design modifications or construction methodologies to be used within the Tree Protection Zone of any public trees. These must be provided for any utility connections or civil engineering works.
- vii. Any pruning required to public trees must include detailed specifications with reference to marked images.
- viii. A supervision schedule for the Project Arborist, interim reporting periods and final completion report (necessary for bond release).

#### *Public Tree Removal / Pruning*

- 25. No public tree adjacent to the site can be removed or pruned in any way without the written approval of the City of Melbourne.
- 26. Approval for any tree removal is subject to the Tree Policy 2021, Council's Delegations Policy and requirements for public notification, and a briefing paper to councillors. All options for tree retention must be explored and exhausted to the satisfaction of a City of Melbourne Arborist before public tree removal, or significant pruning, is approved.
- 27. All costs in connection with the removal and replacement of public trees, including any payment for the amenity and ecological services value of a tree to be removed, must be met by the applicant / developer / owner of the site. Costs will be provided and must be agreed to before council remove the subject trees.

#### *New / Replacement Tree Plots*

- 28. All new or replacement tree plots must maximise available soil volume and rooting area, with either enlarged pit dimensions, relocating, or providing protection for underground services, or the use of structural soils.

#### *Public Tree Protection*

- 29. All works (including demolition), within the Tree Protection Zone of public trees must be undertaken in accordance with the endorsed Tree Protection Plan (TPP) and supervised by a suitably qualified Arborist, where identified in the report, except with the further written consent of the City of Melbourne.
- 30. Following the approval of a Tree Protection Plan (TPP), a bond equivalent for the combined environmental and amenity values of public trees that may be affected by the development will be held against the TPP for the duration of construction activities. The bond amount will be calculated by council and provided to the applicant / developer / owner of the site. Should any tree be adversely impacted on, the City of Melbourne will be compensated for any loss of amenity, ecological services or amelioration works incurred.

### **Traffic Engineering**

#### *Road Safety Audit*

31. Prior to the commencement of the development, excluding demolition and bulk excavation, a desktop Road Safety Audit prepared by a suitably qualified professional must be provided to the satisfaction of the Responsible Authority and Melbourne City Council. The Road Safety Audit must address, but not be limited to the following matters:
- a) Vehicular / bicycle / pedestrian access arrangements
  - b) Loading arrangements
  - c) Internal circulation / layout

When provided to the satisfaction of the Responsible Authority and Melbourne City Council the Road Safety Audit will be endorsed to form part of this permit.

*Loading Management Plan*

32. Prior to the commencement of the development, a comprehensive Loading Management Plan (LMP) must be prepared to the satisfaction of the Responsible Authority and Melbourne City Council, specifying how the access / egress of loading vehicles is to be managed. A Dock Manager must be employed, responsible for controlling the operation of the loading bay, with responsibilities including:
- a) Present on site when deliveries are undertaken
  - b) Act as a spotter for any reversing movements into the loading bay
  - c) Act as informal traffic controller to discourage pedestrian movements when vehicles reverse
  - d) Ensure conflicts do not occur between loading / other vehicles
  - e) Ensure that spaces used for vehicle manoeuvring are kept clear of other vehicles / obstructions at all times.
  - f) The design of the loading area, including all space dimensions, grades and height clearances, must comply with relevant standards for Commercial Vehicles (AS2890.1:2018) and Clause 52.07.
  - g) Amended swept path diagrams detailing all on-street infrastructure, including the recently installed platform tram stop in La Trobe Street, to ensure there is no conflict.

When provided to the satisfaction of the Responsible Authority and Melbourne City Council the Loading Management Plan will be endorsed to form part of this permit.

**Civil Design**

*Drainage of projections*

33. All projections over the street alignment must be drained to a legal point of discharge in accordance with plans and specifications first approved by Melbourne City Council Authority – City Infrastructure.

*Drainage system upgrade*

34. Prior to the commencement of the development, a stormwater drainage system, incorporating integrated water management design principles, must be submitted to and approved by the Responsible Authority – City Infrastructure. This system must be constructed prior to the occupation of the development and provision made to connect this system to the City of Melbourne's underground stormwater drainage system. Where necessary, the City of Melbourne's drainage network must be upgraded to accept the discharge from the site in accordance with plans and specifications first approved by City of Melbourne – City Infrastructure.

Unless otherwise agreed in writing by the City of Melbourne – City Infrastructure, as part of the drainage system upgrade, the existing drain and gross pollutant trap located in the drainage easement along the west property boundary must be relocated within the road reserve in accordance with plans and specifications first approved by City of Melbourne – City Infrastructure.

*Groundwater management*

35. All groundwater and water that seeps from the ground adjoining the building basement (seepage water) and any overflow from a reuse system which collects groundwater or seepage water must not be discharged to the Council's drainage network. All contaminated water must be treated via a suitable treatment system and fully reused on site or discharged into a sewerage network under a relevant trade waste agreement with the responsible service authority.

*Demolish and construct access*

36. Prior to the occupation of the development, all necessary vehicle crossings must be constructed and all unnecessary vehicle crossings must be demolished and the footpath, kerb and channel reconstructed, in accordance with plans and specifications first approved by Melbourne City Council – City Infrastructure.

*Street works required*

37. Prior to the commencement of the occupation of the development, all new or altered portions of road (including the provision of footpaths, public lighting, street trees, pavement marking and signage) in Harbour Esplanade must be constructed in accordance with plans and specifications first approved City of Melbourne – City Infrastructure.

*Roads and Footpaths*

38. All portions of roads affected by the building related activities of the subject land must be reconstructed together with associated works including the reconstruction or relocation of services as necessary at the cost of the developer, in accordance with plans and specifications first approved by Melbourne City Council – City Infrastructure.
39. The footpath adjoining the site along La Trobe Street and Harbour Esplanade (including the widened portion) must be reconstructed in sawn bluestone together with associated works including the renewal of kerb and channel, provision of street furniture and modification of services as necessary at the cost of the developer, in accordance with plans and specifications first approved by City of Melbourne – City Infrastructure.

*Street levels not to be altered*

40. Existing street levels in roads adjoining the site must not be altered for the purpose of constructing new vehicle crossings or pedestrian entrances without first obtaining approval from Melbourne City Council – City Infrastructure.

*Relocation of street light / tram poles in La Trobe Street*

41. Prior to the commencement of the use /occupation of the development, the two light / tram joint poles and tram pole in La Trobe Street must be relocated 750 mm from the face of kerb at the cost of the developer in accordance with plans and specifications first approved City of Melbourne – City Infrastructure and to the satisfaction of the relevant service authority.

*Existing street lighting not altered without approval*

42. All street lighting assets temporarily removed or altered to facilitate construction works shall be reinstated once the need for removal or alteration has been ceased. Existing public street lighting must not be altered without first obtaining the written approval of City of Melbourne – City Infrastructure.

*Existing street furniture*

43. Existing street furniture must not be removed or relocated without first obtaining the written approval of City of Melbourne – City Infrastructure.

*Street furniture*

44. All street furniture such as street litter bins, recycling bins, seats and bicycle rails must be supplied and installed on La Trobe Street and Harbour Esplanade footpaths outside the proposed building to plans and specifications first approved by City of Melbourne – City Infrastructure.

*Road declaration (Harbour Esplanade)*

45. Prior to the occupation of the development, the widened portion of Harbour Esplanade abutting the subject land is to be constructed and vested in Council as a road under the provision of the Subdivision Act 1988.

*Public lighting*

46. Prior to the commencement of the development, excluding preliminary site works, demolition and any clean up works, or as may otherwise be agreed with the City of Melbourne, a lighting plan must be prepared to the satisfaction of Council. The lighting plan should be generally consistent with Council's Lighting Strategy, and include the provision of public lighting in La Trobe Street and Harbour Esplanade. The lighting works must be undertaken prior to the commencement of the use / occupation of the development, in accordance with plans and specifications first approved by City of Melbourne – City Infrastructure.

*Drainage Easements*

47. Prior to the commencement of the development, evidence must be provided to the City of Melbourne – City Infrastructure that easements E-4 and E-10 are also in favour of the City of Melbourne.

**Land Survey**

48. No buildings or works shall be constructed outside the title of the land without the written consent from the relevant authorities and / or adjoining properties.
49. Prior to the commencement of the development, or as otherwise agreed to by the Responsible Authority in collaboration with the City of Melbourne, the owner must provide evidence to the Responsible Authority that all easements which are impacted by the approved built form have been removed and / or varied, to the satisfaction of the Responsible Authority.
50. Prior to the commencement of the development, or as otherwise agreed to by the Responsible Authority in collaboration with the City of Melbourne, the owner must provide evidence to the Responsible Authority that any easements over adjoining land, which may be required to accommodate the approved built form have been created to the satisfaction of the City of Melbourne.
51. Prior to the commencement of the development, or as otherwise agreed, the owner must provide evidence that the certified plan of variation of a restriction has been lodged with Land Use Victoria for registration in accordance with Section 23 of the Subdivision Act 1988.

**Potentially Contaminated Land**

52. Prior to the commencement of the development (excluding any works necessary to undertake the assessment), a Preliminary Risk Screen Assessment (PRSA) of the site must be conducted by a suitably qualified environmental auditor. The PRSA statement and report must be submitted to the Responsible Authority in accordance with section 205 of the *Environment Protection Act 2017* to the satisfaction of the Responsible Authority. The PRSA must respond to the matters contained in Part 8.3, Division 2 of the *Environment Protection Act 2017*.

If the PRSA requires an Environmental Audit be undertaken, then prior to the commencement of the development (excluding any works necessary to undertake the audit), an Environmental Audit of the site must be carried out by a suitably qualified environmental auditor. On completion of the Environmental Audit, an Environmental Audit Statement (EAS) and report must be submitted to the Responsible Authority in accordance with section 210 of the *Environment Protection Act 2017* to the satisfaction of the Responsible Authority and in consultation with Melbourne City Council. The EAS must respond to the matters contained in Part 8.3, Division 3 of the *Environment Protection Act 2017* and must either:

- a) state the site is suitable for the use and development allowed by this permit;
- b) state the site is suitable for the use and development allowed by this permit if the recommendations contained within the EAS are complied with.

All the recommendations of the EAS must be complied with to the satisfaction of the Responsible Authority for the full duration of any buildings and works on the land in accordance with the development and must be fully satisfied prior to the occupation of the development. Written

confirmation of compliance must be provided by a suitably qualified environmental auditor in accordance with any requirements in the EAS.

If any of the conditions of the EAS require ongoing maintenance or monitoring, prior to the commencement of the use and prior to the issue of a statement of compliance under the *Subdivision Act 1988* the owner of the land must enter into an agreement with the Responsible Authority under section 173 of the *Planning and Environment Act 1987* to the satisfaction of the Responsible Authority to the effect that all conditions of the EAS issued in respect of the land will be complied with.

#### **Building appurtenances and services**

53. No architectural features, plant and equipment or services other than those shown on the endorsed plans are permitted above roof level, unless with the prior written consent of the Responsible Authority and Melbourne City Council or as otherwise exempt under the Melbourne Planning Scheme.

#### **No reticulated gas connection**

54. Any new dwellings allowed by this permit must not be connected to a reticulated gas service (within the meaning of clause 53.03 of the relevant planning scheme). This condition continues to have force and effect after the development authorised by this permit has been completed.

#### **3D digital model**

55. Prior to the commencement of the development, excluding bulk excavation, a 3D digital model of the development must be submitted to and approved by the Responsible Authority and Melbourne City Council.

The model should be prepared having regard to the Advisory Note – 3D Digital Modelling Melbourne City Council. Digital Models provided to Council and other government organisations for planning purposes. The Council may also derive a representation of the model which is suitable for viewing and use within its own 3D modelling environment. In the event that substantial modifications are made to the building envelope, a revised 3D digital model must be submitted to and approved by the Responsible Authority.

#### **Development time limit**

56. This permit will expire if one or more of the following circumstances apply:
- The development is not started within three (3) years of the date of this permit.
  - The development is not completed within five (5) years of the date of this permit.
  - The use is not started within five (5) years of the date of this permit.

The Responsible Authority may extend the permit if a request is made in writing before the permit expires, or within six months afterwards. The Responsible Authority may extend the time for completion of the permit if a request is made in writing within 12 months after the permit expires and the development started lawfully before the permit expired.

### **NOTES**

#### **Traffic**

The City of Melbourne (CoM) will not change on-street parking restrictions to accommodate the servicing, delivery and parking needs of this development, as the restrictions are designed to cater for other competing demands and access requirements. However, new parking restrictions may be introduced in the surrounding streets at the discretion of CoM. As per Council's policy, new developments in this area that increase the density of residential development are not entitled to resident parking permits. Therefore, the residents of this development will not be eligible to receive parking permits and will not be exempt from any on-street parking restrictions."

#### **Civil Design**

All necessary approvals and permits are to be first obtained from the City of Melbourne and the works performed to the satisfaction of the Responsible Authority – City Infrastructure.

**Projections**

All projections over the street alignment must conform to Building Regulations 2018, Part 6, Sections 98 to 110 as appropriate. Reference can be made to the City of Melbourne's Road Encroachment Operational Guidelines with respect to projections impacting on street trees and clearances from face / back of kerb.

**Building Approval Required**

This permit does not authorise the commencement of any demolition or construction on the land. Before any demolition or construction may commence, the applicant must apply for and obtain appropriate building approval from a Registered Building Surveyor.

**Other Approvals May be Required**

This Planning Permit does not represent the approval of other departments of Melbourne City Council or other statutory authorities. Such approvals may be required and may be assessed on different criteria from that adopted for the approval of this Planning Permit.

**Parking Permits**

The owners and occupiers of the development allowed by this permit will not be eligible for Council resident or visitor parking permits.

**Road Naming**

It is noted that reference is made to a 'Ron Casey Lane' in the application document. Melbourne City Council notes that this is not an approved name. Any road naming must accord with the Geographic Place Names Act 1998 and must comply with the Naming rules for places in Victoria 2022 - Statutory requirements for naming roads, features and localities (the naming rules), and the Geographic Place Names Act 1998.

**Affordable Housing Definitions**

- Registered Agency means a registered housing association or a registered housing provider as outlined in the Housing Act 1983 (Vic).
- Rental Housing Agency means (a) a corporation limited by shares or by guarantee that is a non-profit body and that provides or is established to provide rental housing; or (b) an incorporated association or non-trading co-operative that is a non-profit body and that provides or is established to provide rental housing as outlined in the Housing Act 1983 (Vic).
- Value means the monetary value of a dwelling offered for sale at the date of the transfer (if applicable) or otherwise at the date of the agreement as determined by an independent valuer (appointed by the President of the Australia Property Institute – Victorian Division).

## How to contact us

**Online:**

[melbourne.vic.gov.au](http://melbourne.vic.gov.au)

**In person:**

Melbourne Town Hall - Administration Building  
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03 9658 9658

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**In writing:**

City of Melbourne  
GPO Box 1603  
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**Interpreter services**

We cater for people of all backgrounds  
Please call 03 9280 0726

03 9280 0717 廣東話  
03 9280 0719 Bahasa Indonesia  
03 9280 0720 Italiano  
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03 9280 0722 Soomaali  
03 9280 0723 Español  
03 9280 0725 Việt Ngữ  
03 9280 0726 عربي  
03 9280 0726 한국어  
03 9280 0726 हिंदी  
03 9280 0726 All other languages

**National Relay Service:**

If you are deaf, hearing impaired or speech-impaired,  
call us via the National Relay Service: Teletypewriter (TTY)  
users phone 1300 555 727 then ask for 03 9658 9658  
9am to 5pm, Monday to Friday (Public holidays excluded)

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